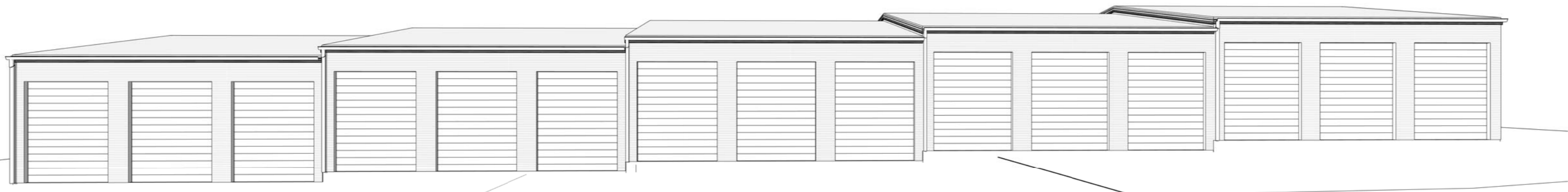


# PROPOSED STORAGE UNIT COMPLEX FOR:

DAVID HARMS

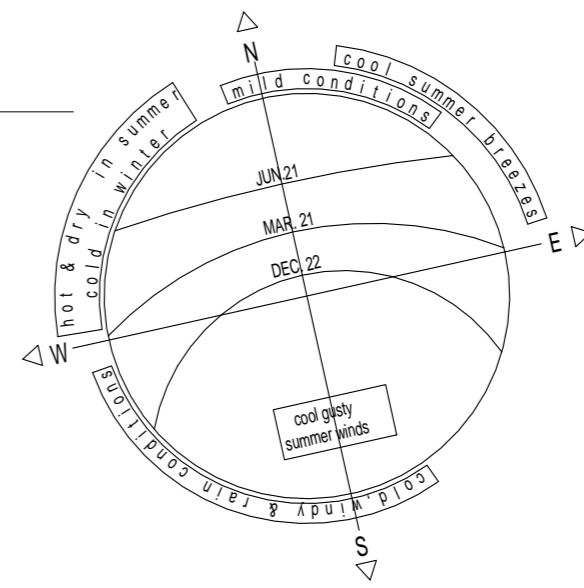
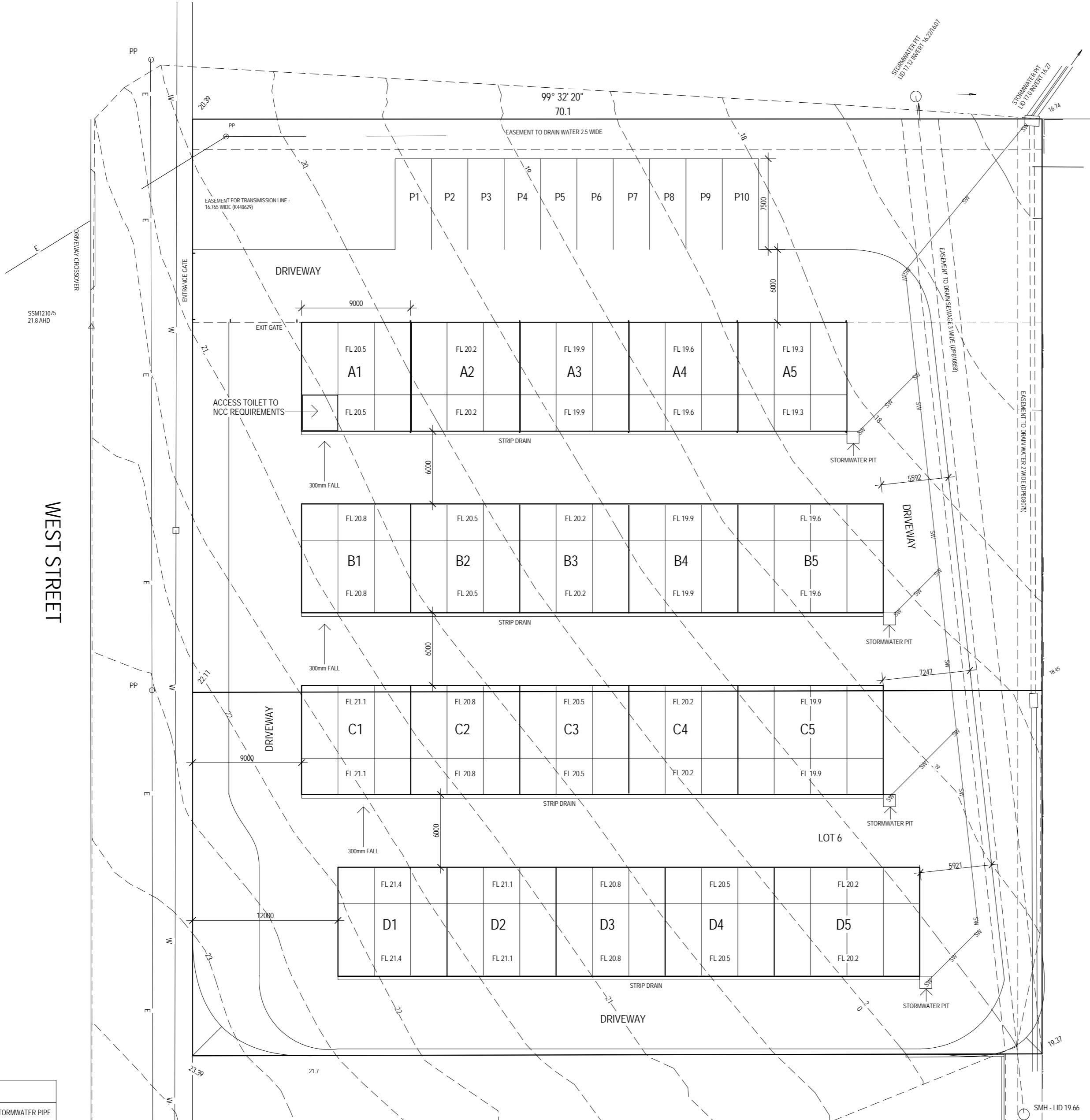
LOT 5,6 DP810858  
 NO. 81,83 WEST STREET, SOUTH KEMPSEY, NSW, 2440



Sheet List	
Sheet Number	Sheet Name
00	COVER SHEET
01	SITE PLAN
02	BLOCK A FLOOR PLAN
03-1	ELEVATIONS
03-2	ELEVATIONS
04	SECTION
05	PERSPECTIVES

Project Address LOT 6/7, DP810858 No. 79,81 WEST STREET SOUTH KEMPSEY, NSW, 2440	
Client DAVID HARMS	
Sheet Title COVER SHEET	
<p><b>NOTES:</b></p> <p>-THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS</p> <p>-DO NOT OBTAIN MEASUREMENTS BY SCALING OFF DRAWINGS. USE ONLY WRITTEN DIMENSIONS</p> <p>-ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS</p> <p>-REPORT ANY DISCREPANCIES TO DENNIS PARTNERS BEFORE PROCEEDING</p> <p>-THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS ENDORSED "FOR CONSTRUCTION" IN THE AMENDMENT SCHEDULE</p>	
<p><b>dennis partners</b>                  civil   structural   planning</p> <p>73 Belgrave Street, Kempsey                  PO Box 3737, West Kempsey NSW 2440                  p. 02 6563 1611                  f. 02 6563 1799                  m. 0427 631 611                  w. www.dennispartners.com.au                  ABN 62 101 949 937</p>	
Date	12-06-19
Drawn by	Scale
J.A.J	@ A2
Project number	Revision
2313-DP	A
00	

WEST STREET



- STANDARD NOTES**
1. ALL WRITTEN DIMENSION TAKE PRECEDENCE OVER SCALE.
  2. ALL ROOF BEAMS, LINTELS AND BRICKWORK ANGLES TO TRUSS/WALL FRAME MANUFACTURER'S SPECIFICATIONS AND ENGINEERS VERIFICATION.
  3. WC DOORS TO COMPLY WITH BCA VOL 2 PT 3.8.3.3.
  4. ALL WET AREAS TO BE COMPLETED IN ACCORDANCE WITH BCA VOL 2 PT 3.8.1.
  5. ENGINEER DESIGNED - PREFABRICATED TIMBER ROOF TRUSSES AS PER MANUFACTURER'S SPECIFICATIONS. (600 CTS UNLESS NOTED OTHERWISE).
  6. 90mm PREFABRICATED TIMBER WALL FRAMES AS PER MANUFACTURER'S SPECIFICATIONS, U.N.O.
  7. BUILDER & TRADES ARE TO CONFIRM ALL MEASUREMENTS, DETAILS & SPECIFICATIONS PRIOR TO SET-OUT BE ORDERING OF MATERIALS.
  8. REPORT ANY ERRORS FOR CLARIFICATION/CORRECTION AS NO RESPONSIBILITY WILL BE TAKEN AFTER CONSTRUCTION HAS COMMENCED.
  9. ALL ELECTRICAL APPLIANCE & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATION FOR DETAILS OF ALL FIXTURES.
  10. SIZE AND LOCATION OF DOWNPIPES TO BE CONFIRMED ON SITE BY BUILDER.
  11. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT TRADE AND TECHNICAL MANUALS.

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**2440**

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Sheet Title  
**SITE PLAN**

- NOTES:**
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Drawn by **J.A.J** Scale **As @ A2**

Project number **2313-DP** Revision **indicated**

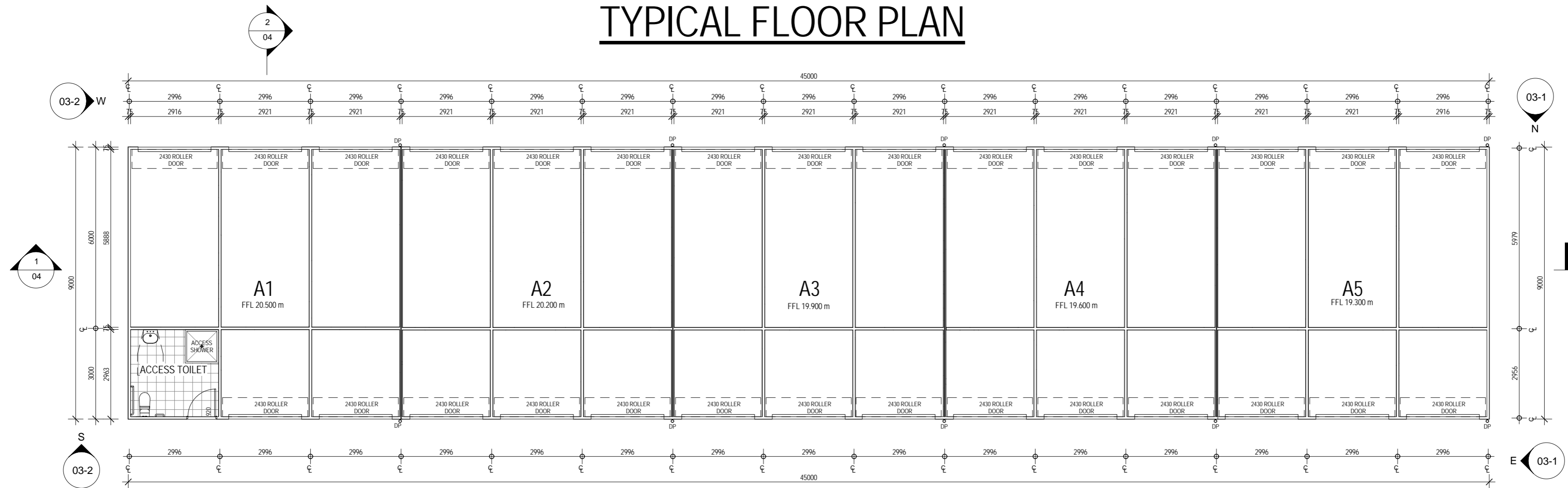
**01** **A**

**LEGEND**

—SW—SW	NOM 100dia STORMWATER PIPE
—OW—OW	NOM 100dia OVERFLOW PIPE
—SF—SF	SEDIMENT FENCE TO SD6-8

**1-Site Plan**  
 Scale 1 : 250

# TYPICAL FLOOR PLAN



1 Block A1 Floor Plan  
Scale 1 : 100

AREAS	
Double Garage	36.24 m <sup>2</sup>
Living	126.54 m <sup>2</sup>
Porch	1.69 m <sup>2</sup>
Grand total: 3	164.47 m <sup>2</sup>
ROOF	192 m <sup>2</sup>

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
CT	COOK TOP
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DTR / TR	TOWEL RAIL (DOUBLE) / (SINGLE)
HK	ROBE HOOK @ 1750
FT	BAMBOO FLOORING
FFL	FINISHED FLOOR LEVEL
GF.L	GARAGE FLOOR LEVEL
HWD	HARDWOOD DECKING
HWS	SOLAR HOT WATER SYSTEM (GAS BOOST)
MB	RECESSED ELECTRICAL METER BOX
RAIL	700mm SHOWER RAIL
MX	MIXER
OH	OVERHEAD CUPBOARDS
T20 PL	DOOR WITH PRIVACY LOCK
RH	RANGEHOOD (DUCTED)
SD	SETDOWN
FW	FLOOR WASTE
ST	SERVICES STACK
S	SPOUT
T	TAP
RT	TOWEL RING @ 1100
Trns	TRANSLUCENT GLASS
TBH	TOILET ROLL HOLDER
WM	WASHING MACHINE
WC	TOILET
	CEILING FAN LIGHT COMBO
	CEILING FAN

NOTE:  
DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 30mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE.

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Sheet Title  
BLOCK A FLOOR PLAN

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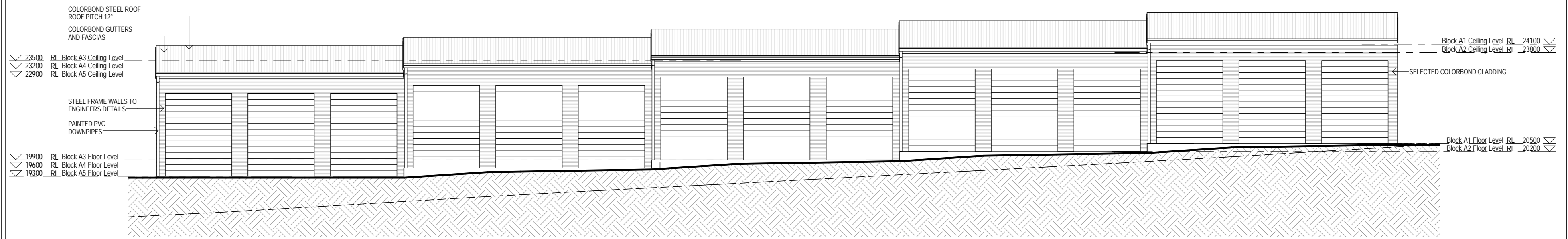
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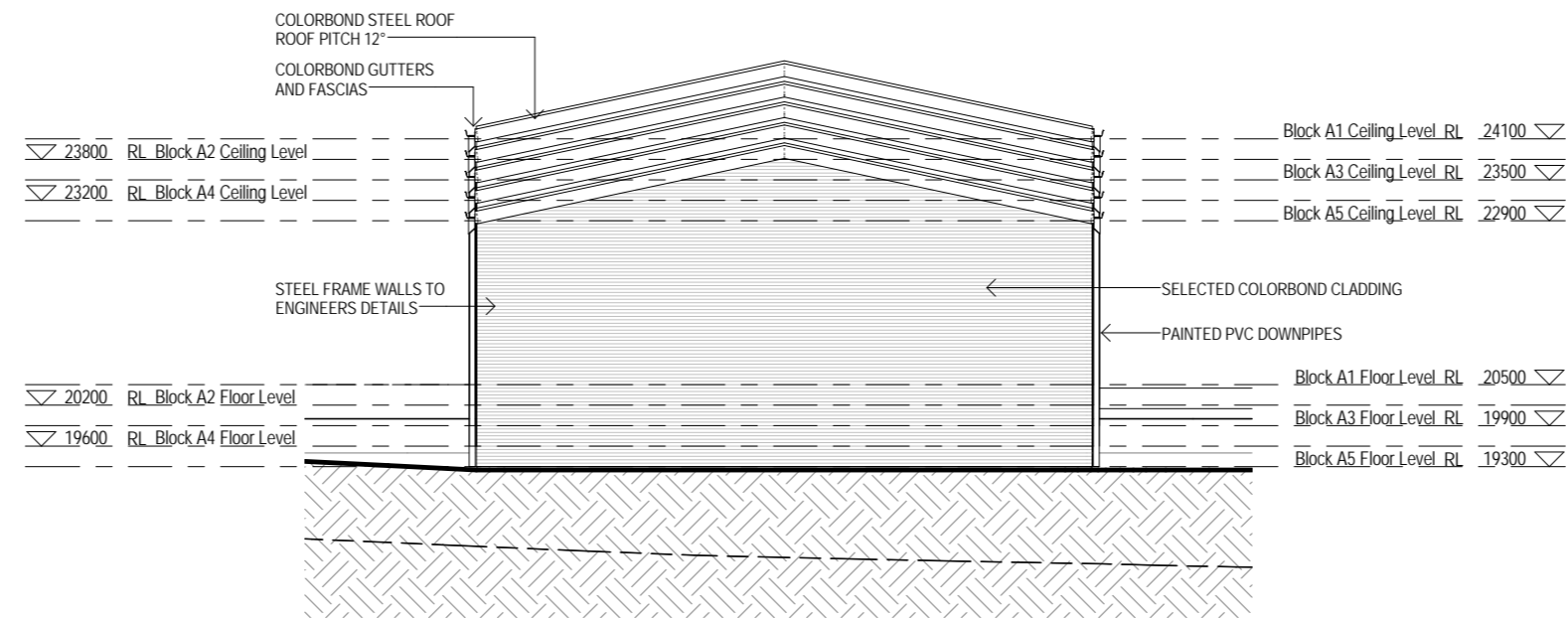
Drawn by T.J.W Scale 1 : 100 @ A2

Project number 2313-DP	Revision A
02	

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING



**N** Block A Northern Elevation  
Scale 1 : 100



**E** Block A Eastern Elevation  
Scale 1 : 100

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Sheet Title  
**ELEVATIONS**

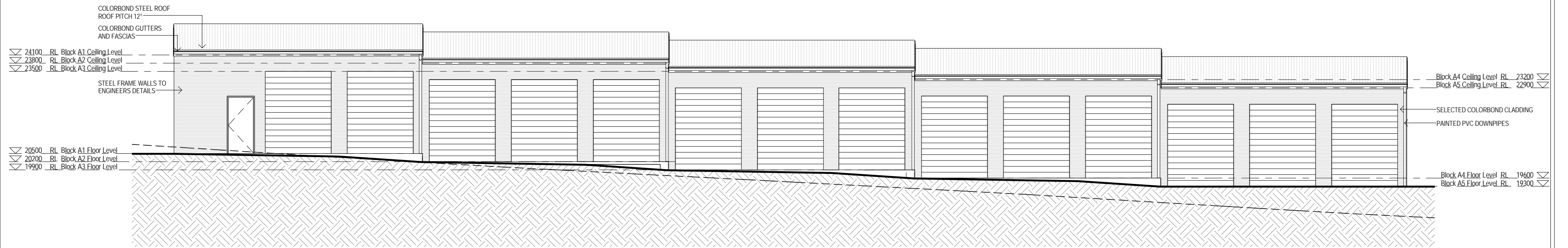
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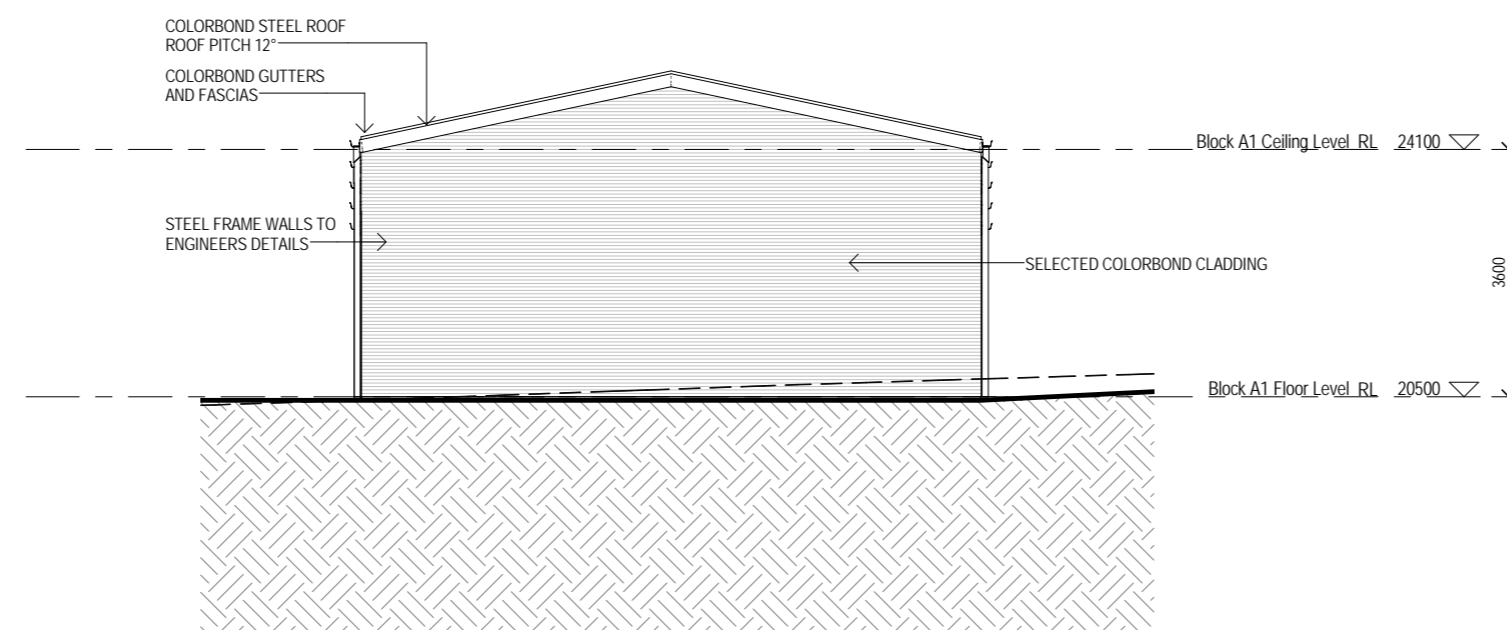
Date 12-06-19

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Project number 2313-DP Revision A  
**03-1**



**S** Block A Southern Elevation  
Scale 1 : 100



**W** Block A Western Elevation  
Scale 1 : 100

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 LOT 6/7, DP810858  
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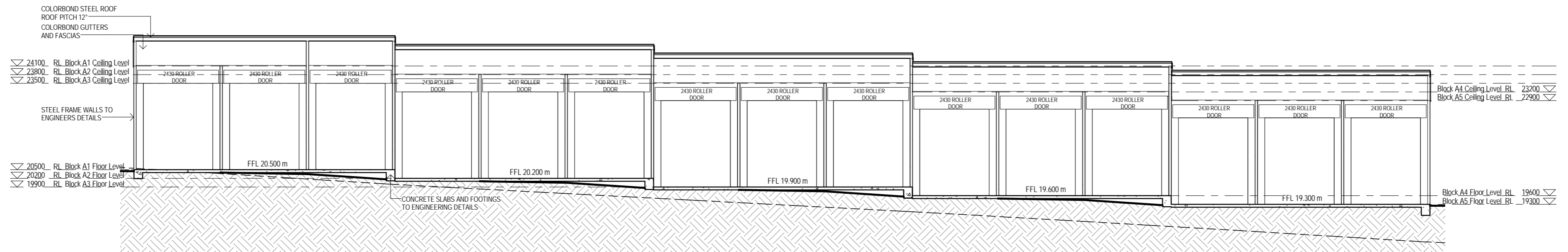
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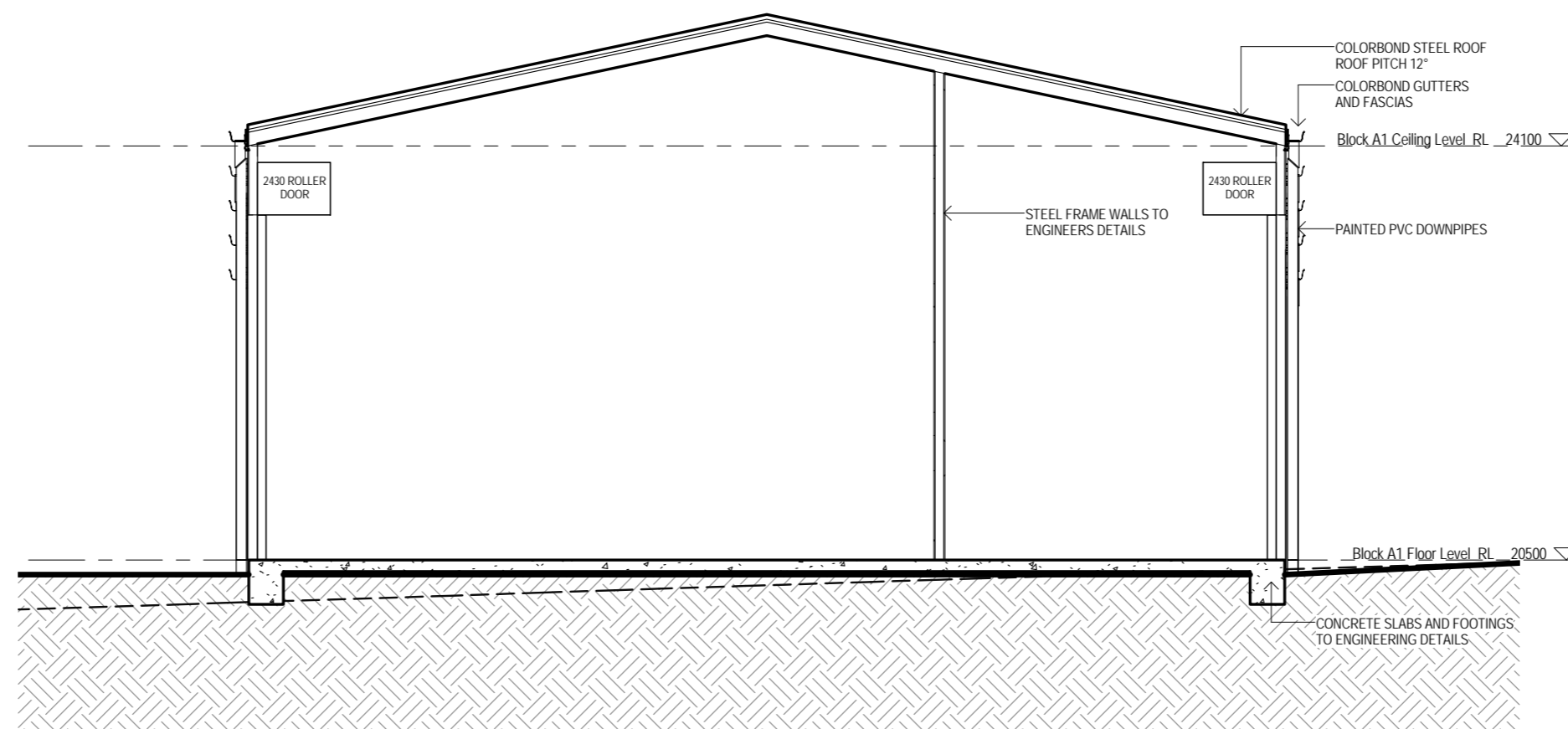
**03-2**



1 Section 1  
Scale 1 : 100

**GENERAL NOTES**

- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS.
- ALL DIMENSIONS TO BE VERIFIED BEFORE ANY WORK OR FABRICATION COMMENCES.
- IF ANY DISCREPANCY, AMBIGUITY, ERROR OR INCONSISTENCY IS FOUND IN THIS SET OF DRAWINGS, REPORT TO HPC BEFORE PROCEEDING.
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED.
- TIMBER FRAMING TO BE IN ACCORDANCE WITH AS1684 NATIONAL TIMBER FRAMING CODE.
- SUB-FLOOR VENTILATION TO COMPLY WITH PART 3.4.1 BCA VOL TWO.
- WHERE ROOF TRUSSES ARE NOMINATED DESIGN & SPECIFICATION TO BE BY MANUFACTURER.
- BALUSTRADES TO COMPLY WITH BCA PART 3.9.2
- POOL SAFETY FENCE TO COMPLY WITH AS1926.1 & SWIMMING POOLS ACT
- INSTALLATION OF SMOKE DETECTORS TO COMPLY WITH AS3786.
- PLUMBING & DRAINAGE SYSTEMS TO COMPLY WITH AS3500
- TERMITE MANAGEMENT SYSTEMS TO COMPLY WITH AS3660.
- CONCRETE CONSTRUCTION TO BE IN ACCORDANCE WITH AS3600.
- MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH AS3700.
- DAMP-PROOF COURSE & FLASHINGS TO BE IN ACCORDANCE WITH AS/NZS 2904.
- UNPLASTICISED PVC (UPVC) DOWNPIPE & FITTINGS FOR RAINWATER TO COMPLY WITH AS1273.
- INSTALLATION OF SHEET ROOF & WALL CLADDING TO COMPLY WITH AS1273.
- ALL PEDESTRIAN SURFACES TO COMPLY WITH AS/NZS3661 SLIP RESISTANCE.
- GLASS TO BE SELECTED & INSTALLED IN ACCORDANCE WITH AS1288 & AS 2047.
- WATERPROOFING OF WET AREAS TO COMPLY WITH AS3740.
- ELECTRICAL INSTALLATIONS TO COMPLY WITH AS3018.
- PLEASE NOTE: THE STANDARDS REFERENCED IN THE TABLE ARE THE RELEVANT VERSION ADOPTED BY THE BCA AT THE TIME THE CONSTRUCTION CERTIFICATE OR COMPILING DEVELOPMENT CERTIFICATE APPLICATION WAS LODGED.



2 Section 2  
Scale 1 : 50

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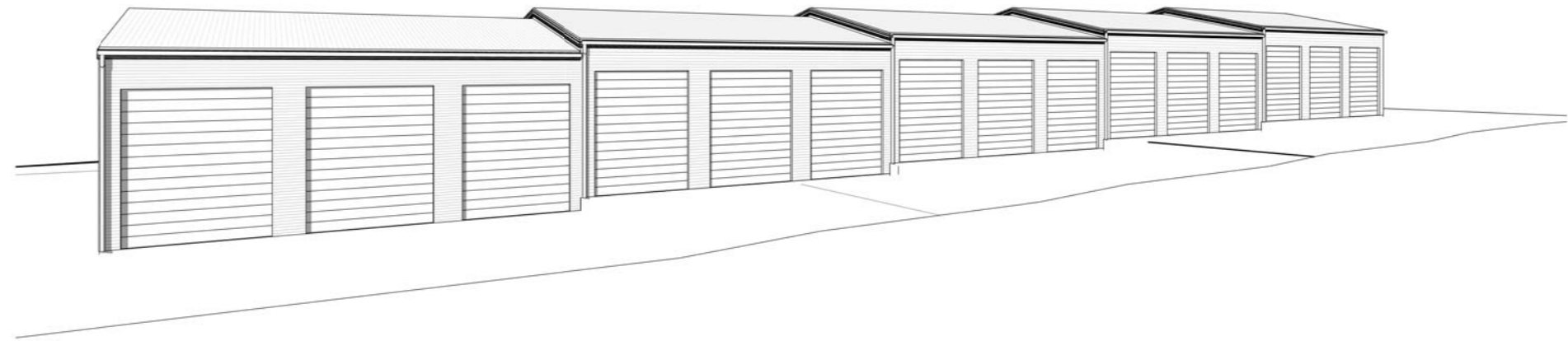
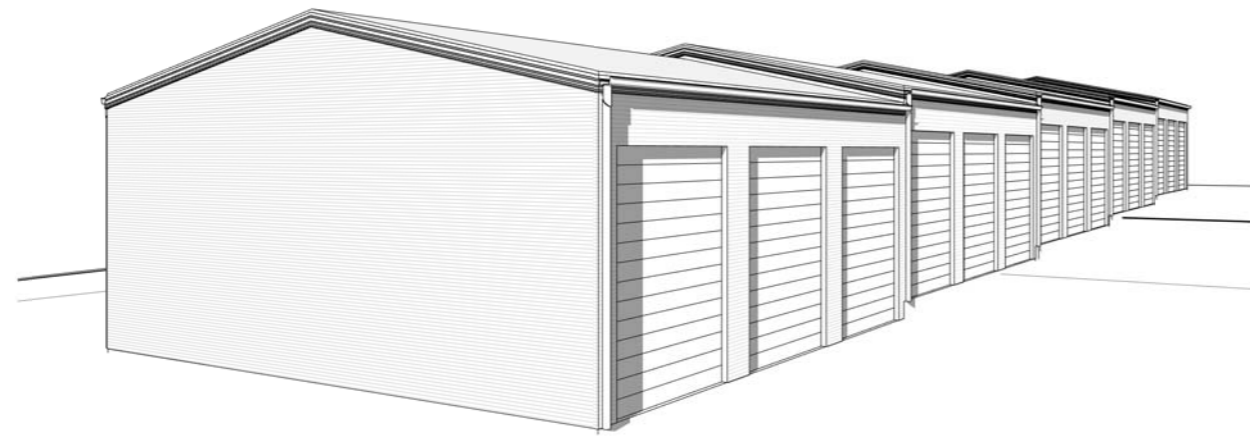
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**04**



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05