

# GOOD + LOCATION

ROCHEDALE MOTORWAY ESTATE  
11 INTERCHANGE PLACE, ROCHEDALE, QLD



BRICKWORKS



# Opportunity

Rochedale Motorway Estate is located within Brisbane's newest industrial precinct on the Gateway Motorway providing unrivalled access to Brisbane's metropolitan areas.

With pre-lease opportunities available from 3,766–35,367 sqm, now is the time to join Beaumont Tiles, Amart Furniture, Franklyn, Moreton Hire and JFC Australia and be part of this brand new masterplanned estate.



Franklyn's 8,019 sqm warehouse, showroom and national head office



11 Interchange Place – Gateway Motorway view

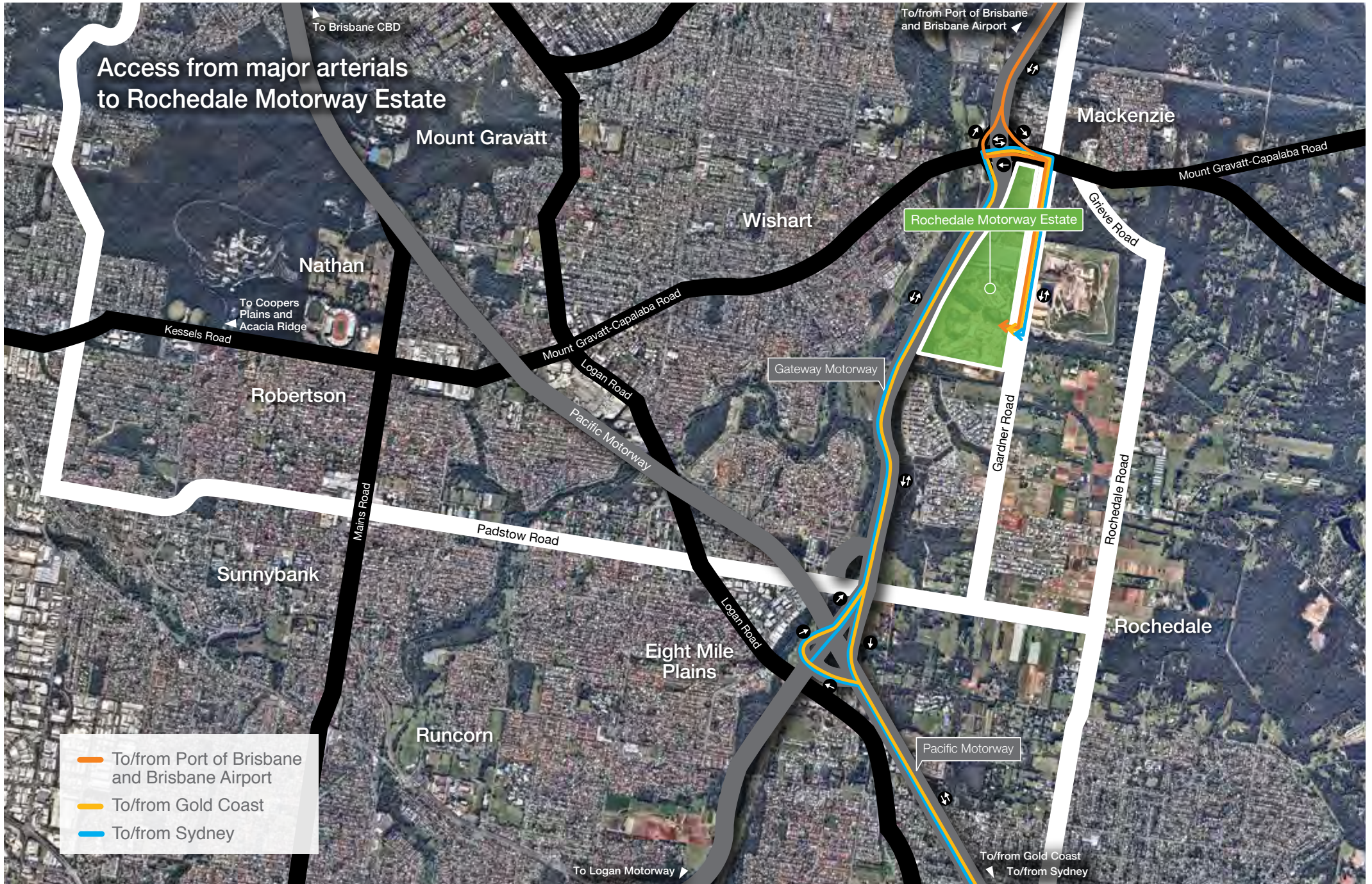


# VIEW FROM ABOVE – SOUTH VIEW









# Rochedale Motorway Estate is Brisbane's newest business and industrial precinct



## LOCATED ON GATEWAY MOTORWAY



**400M**  
to Gateway Motorway



**5KM**  
to Pacific Motorway



**19KM**  
to Brisbane CBD



**21KM**  
to Brisbane Airport



## TRANSPORT

### ROAD

Rochedale Motorway Estate is directly adjacent to the Gateway Motorway and Mt Gravatt-Capalaba Road Interchange. The Pacific Motorway is located within five kilometres of the estate providing unrivalled access to Brisbane's motorway network.

Major access roads to and from the estate are approved for B-double traffic.



### BUS STOP

Adjacent to the estate

## BUS

### Gardner Road stops

+ 276 & 279 both end at Elizabeth St, Creek St and Ann St in Brisbane CBD

### McKenzie State Primary (Mt Gravatt-Capalaba Road)

+ 260 – Starts at Burbank and ends at QEII Hospital

+ 261 – Starts at Rochedale and ends at Elizabeth St

+ 262 – Starts at Capalaba and ends at QEII Hospital

+ 276 – Starts at Victoria Point and ends at Elizabeth St, Creek St and Ann St in Brisbane CBD

+ 279 – Starts at Victoria Point and ends at Elizabeth St, Creek St and Ann St in Brisbane CBD

+ 280 – Starts at Redland Bay and ends at Griffith University

+ 281 – Starts at Redland Bay and ends at Ann Street in Brisbane CBD

For more public transport information visit [www.translink.com.au](http://www.translink.com.au)

The estate is located within close proximity to three shopping precincts which offer a variety of amenity and lifestyle options.



## FITNESS

- + **Snap Fitness** – 35 Wecker Rd, Mount Gravatt East
- + **Goodlife Health & Fitness** – 2084 Logan Rd, Mount Gravatt
- + **Stepz Fitness Upper Mt Gravatt** – 2042 Logan Rd, Upper Mount Gravatt





**FOOD+HOTELS**

- + **Domino's** – 9 Shillington Place, Wishart
- + **Red Rooster** – Wishart Shopping Centre, Capalaba Road, Wishart
- + **Nando's** – 2120 Logan Road, Mt Gravatt
- + **Mc Donald's** – 1902 Logan Road, Upper Mt Gravatt



**SHOPPING**

- + **Coles Marketplace, Rochedale** – Construction has commenced on a full line 3,800 sqm supermarket, 15 to 20 associated shops and 3 food pods on Gardner Road, 2km south of the Estate
- + **Westfield Garden City** – (Australia Post, Aldi, David Jones, Woolworths, Coles, Event Cinemas) Corner Logan & Kessels Road, Upper Mt Gravatt
- + **Rochedale Shopping Village** – (Super IGA, Priceline, Australia Post) 549 Underwood Road
- + **Springwood Shopping Mall** – (Suncorp, ANZ, Bendigo, NAB, Target, Woolworths) – Cnr Rochedale Road & Fitzgerald Avenue



**CHILD CARE**

**ROCHEDALE**

- + **Rochedale Early Childhood Centre & Preschool** – 991 Rochedale Road
- + **Rochedale Community Child Care Centre Inc.** – 38 Sunningdale Avenue
- + **Rochedale Christian Children's Centre** – 19 Beverley Avenue

**WISHART & EIGHT MILE PLAINS**

- + **Goodstart Early Learning** – 6 Boyanda Street, Wishart
- + **C&K St Catherine's Community Kindergarten** – 388 Newnham Road, Wishart
- + **Wishart Childcare Centre** – 81 Holmead Road, Eight Mile Plains

# Flexible spaces

- + Pre-lease opportunities are now available from 3,766–35,367 sqm
- + Brand new buildings designed to your specific requirements
- + Ready to build with infrastructure and building pads completed
- + High clearance warehouses (max 13.7m)
- + ESFR sprinklers
- + Loading via multiple on-grade roller shutters and recessed docks
- + High quality office spaces with ample on-site parking
- + Telstra and NBN fibre connected to the estate.

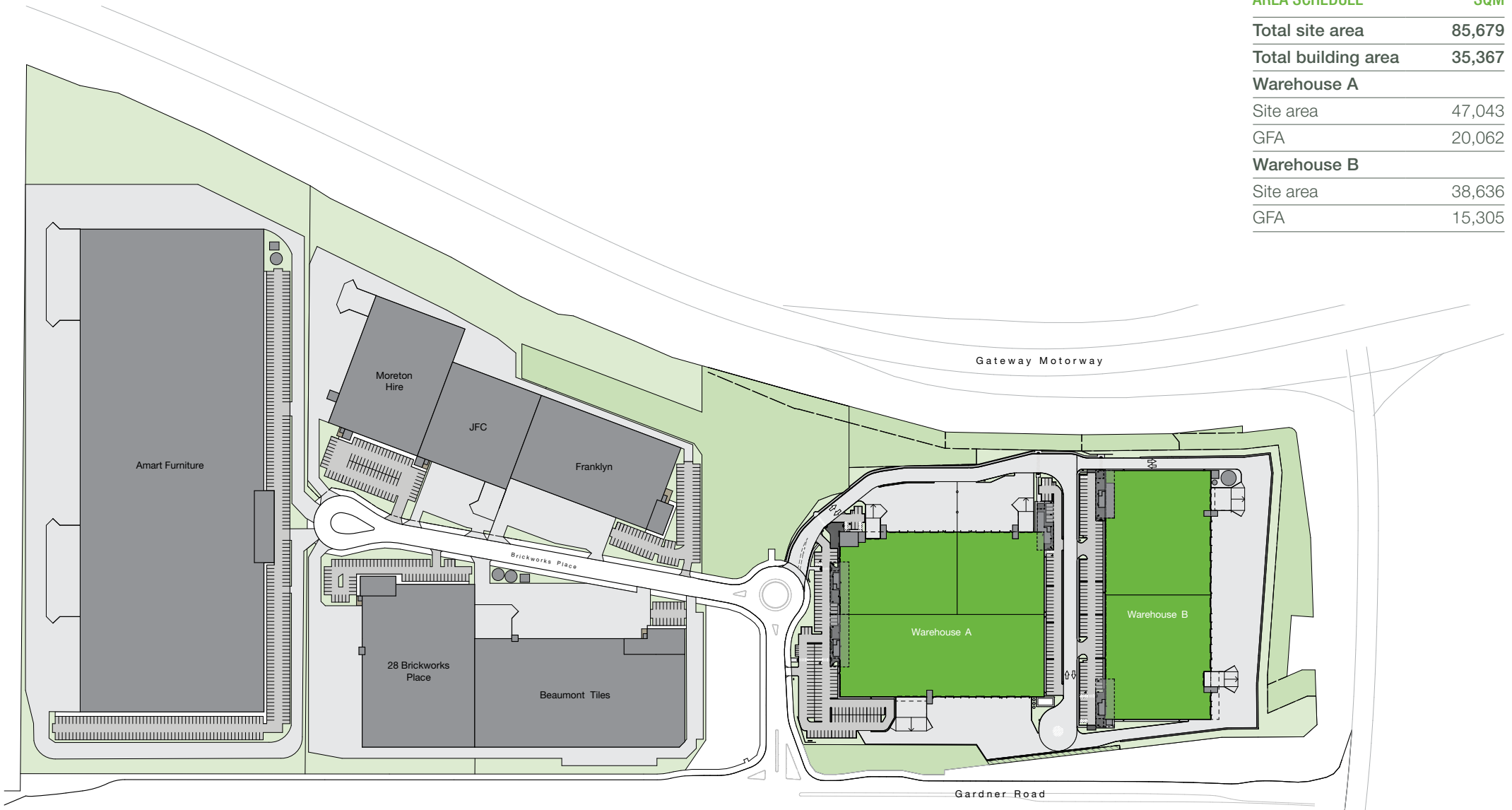


**JOIN BEAUMONT  
TILES, AMART  
FURNITURE,  
FRANKLYN, MORETON  
HIRE AND JFC  
AUSTRALIA AT  
THIS BRAND NEW  
INDUSTRIAL ESTATE**







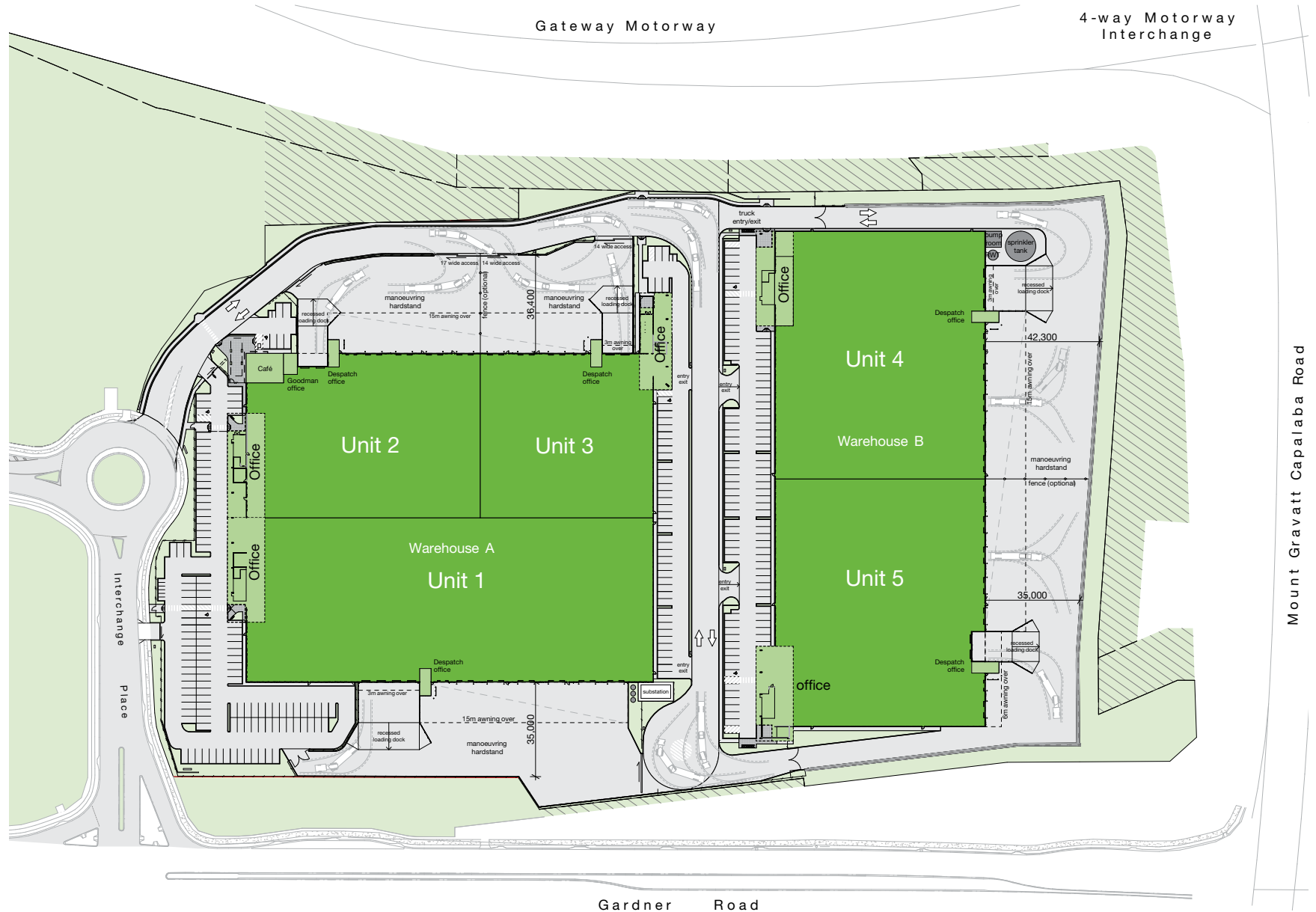


AREA SCHEDULE	SQM
Total site area	85,679
Total building area	35,367
<b>Warehouse A</b>	
Site area	47,043
GFA	20,062
<b>Warehouse B</b>	
Site area	38,636
GFA	15,305

+ Buildings may be adapted to suit your specific requirements.

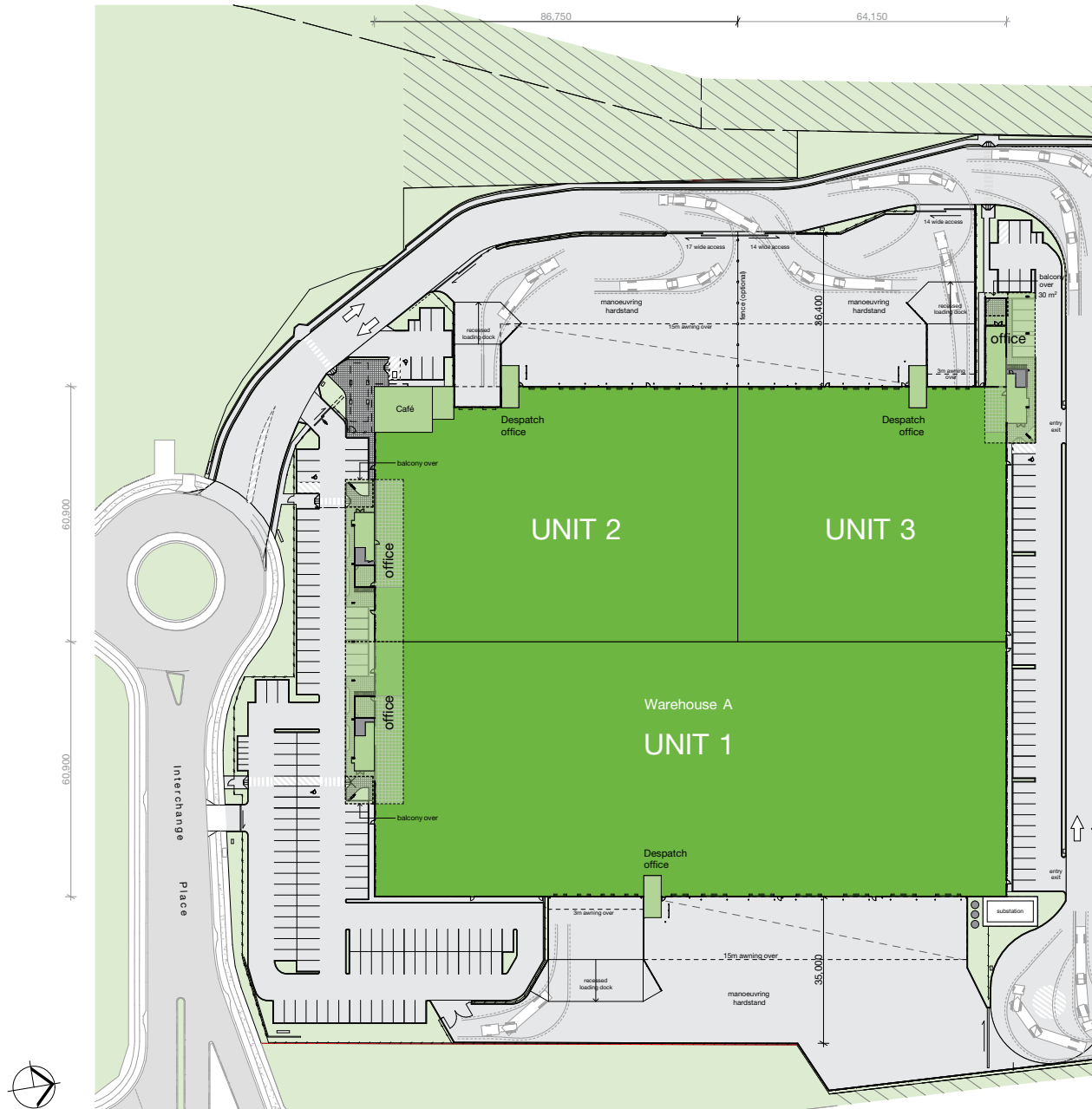
■ For lease: 3,766–35,367 sqm

AREA SCHEDULE	SQM
<b>Total site area</b>	<b>85,679</b>
<b>Unit 1</b>	
Warehouse	9,169
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>9,750</b>
<b>Unit 2</b>	
Warehouse	5,016
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>5,597</b>
<b>Unit 3</b>	
Warehouse	3,886
Office (2 levels)	526
Dock office	42
<b>Total</b>	<b>4,454</b>
<b>Unit 4</b>	
Warehouse	7,140
Office (2 levels)	497
Dock office	42
<b>Total</b>	<b>7,679</b>
<b>Unit 5</b>	
Warehouse	7,085
Office (2 levels)	499
Dock office	42
<b>Total</b>	<b>7,626</b>

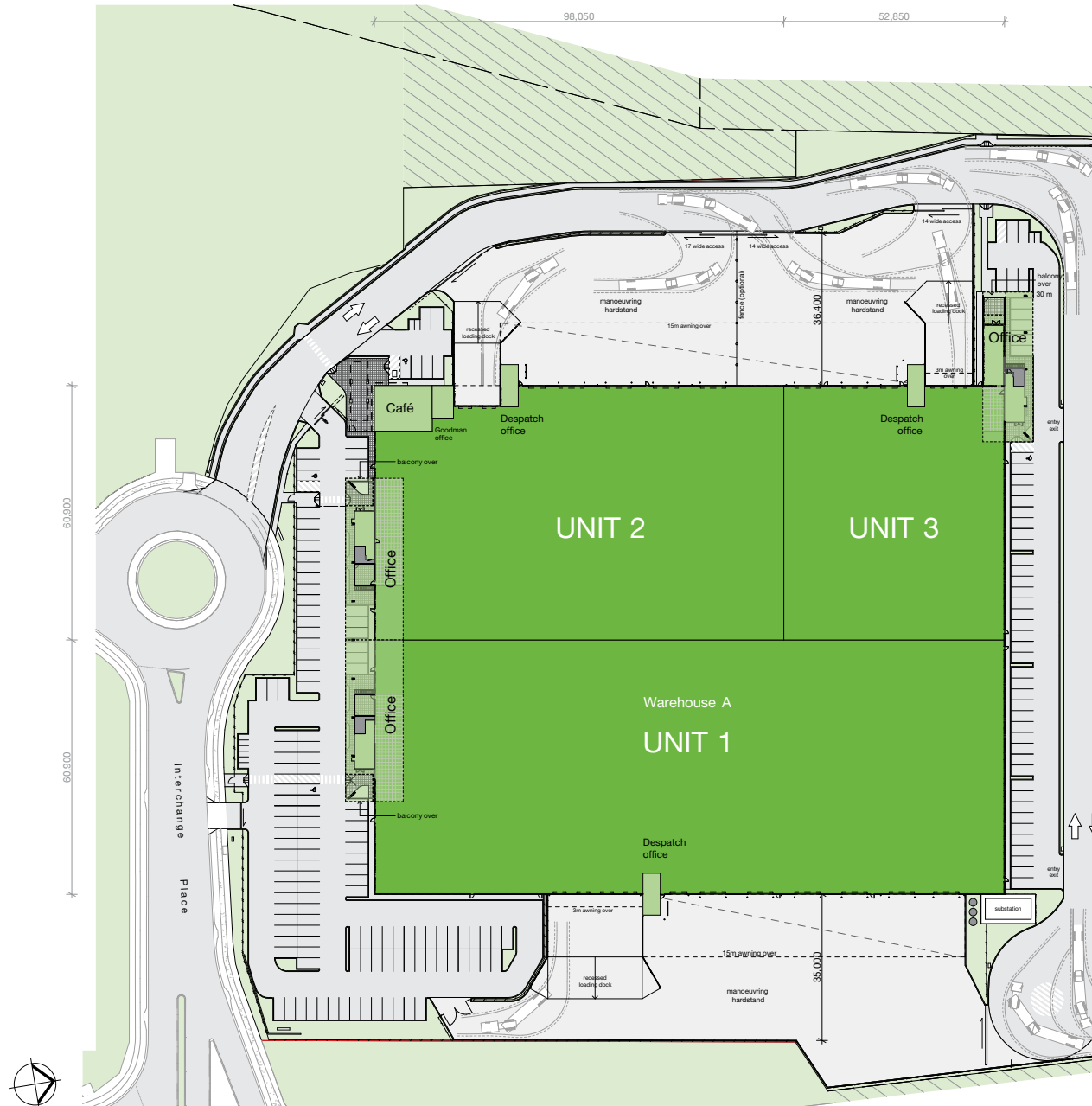




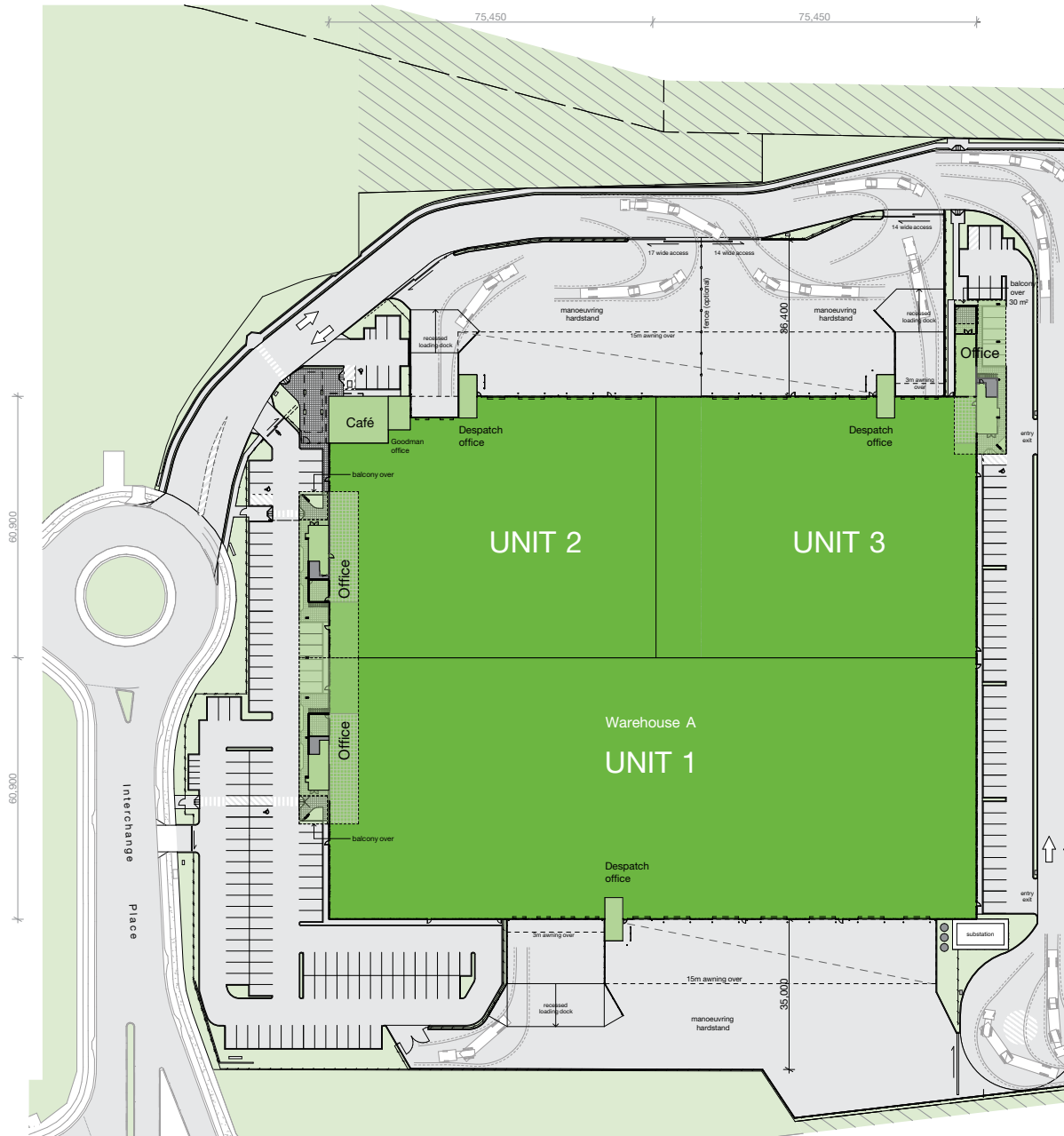
AREA SCHEDULE	SQM
<b>Site area</b>	<b>47,043</b>
<b>Unit 1</b>	
Warehouse	9,169
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>9,750</b>
<b>Unit 2</b>	
Warehouse	5,016
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>5,597</b>
<b>Unit 3</b>	
Warehouse	3,886
Office (2 levels)	526
Dock office	42
<b>Total</b>	<b>4,454</b>
Café	221
Goodman office	40
<b>Total building area</b>	<b>20,062</b>



AREA SCHEDULE	SQM
<b>Site area</b>	<b>47,043</b>
<b>Unit 1</b>	
Warehouse	9,169
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>9,750</b>
<b>Unit 2</b>	
Warehouse	5,705
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>6,286</b>
<b>Unit 3</b>	
Warehouse	3,198
Office (2 levels)	526
Dock office	42
<b>Total</b>	<b>3,766</b>
Café	221
Goodman office	40
<b>Total building area</b>	<b>20,063</b>

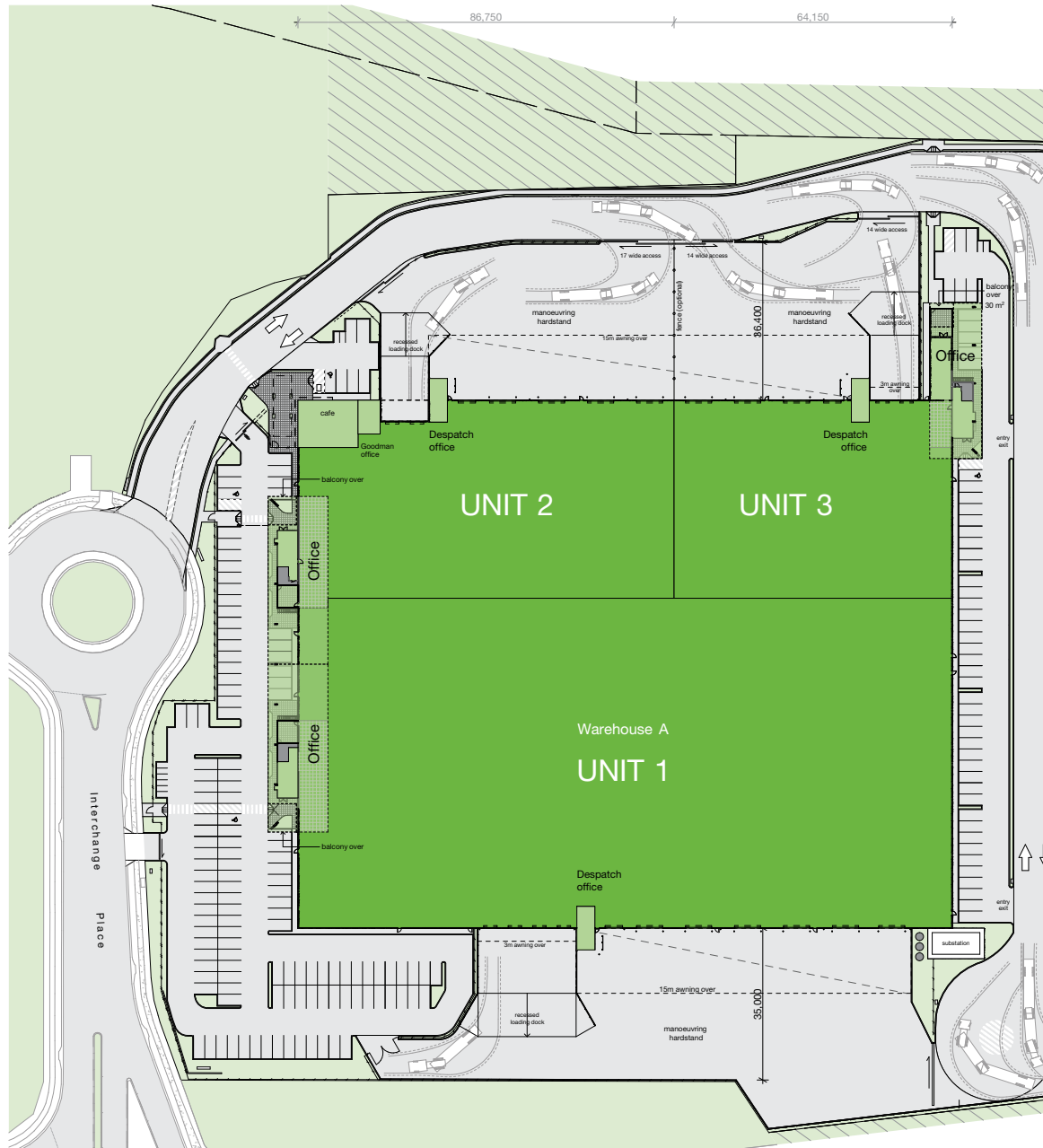


AREA SCHEDULE	SQM
<b>Site area</b>	<b>47,043</b>
<b>Unit 1</b>	
Warehouse	9,169
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>9,750</b>
<b>Unit 2</b>	
Warehouse	4,328
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>4,909</b>
<b>Unit 3</b>	
Warehouse	4,574
Office (2 levels)	526
Dock office	42
<b>Total</b>	<b>5,142</b>
Café	221
Goodman office	40
<b>Total building area</b>	<b>20,062</b>



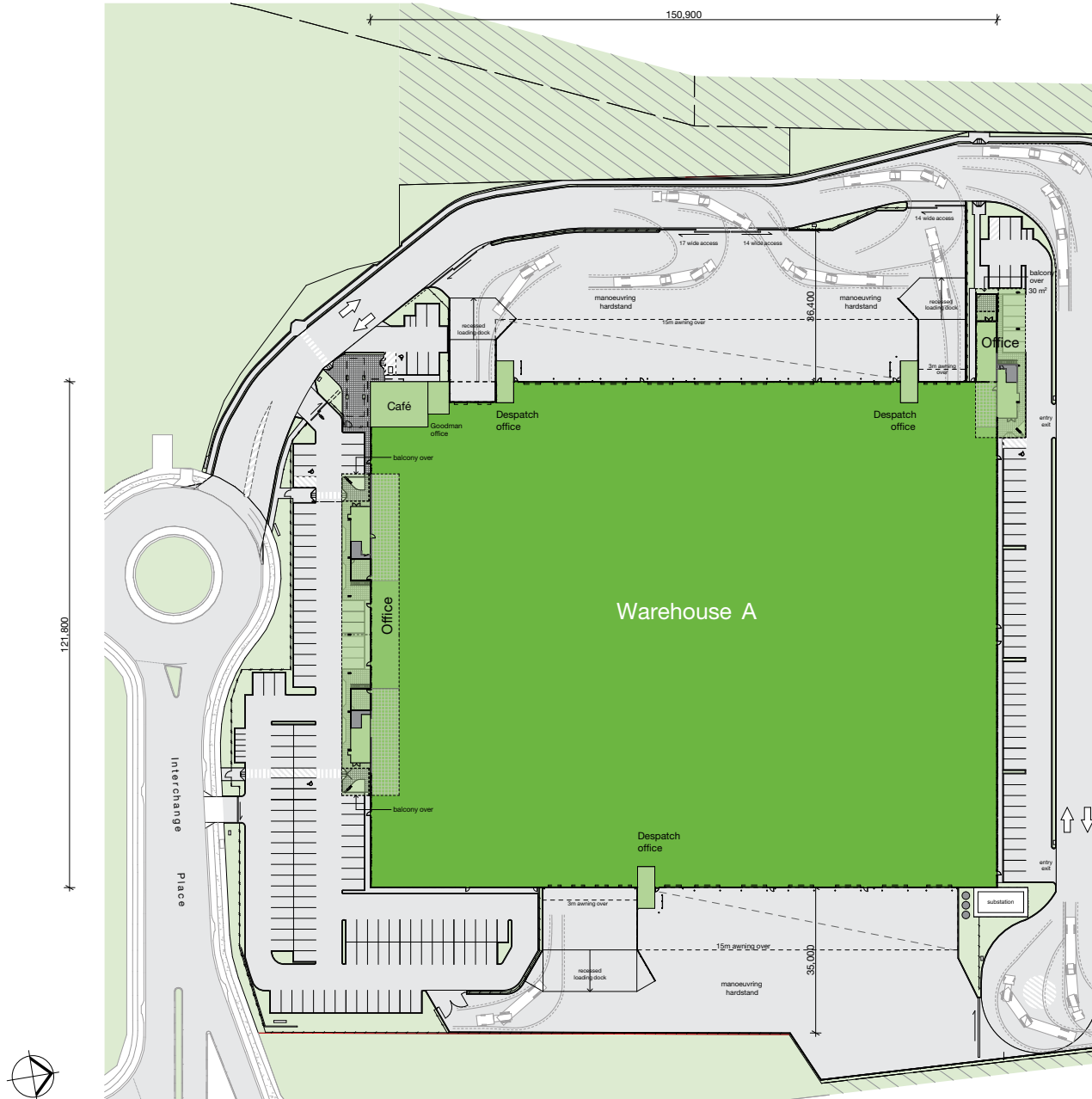
■ For lease

AREA SCHEDULE	SQM
<b>Site area</b>	<b>47,043</b>
<b>Unit 1</b>	
Warehouse	11,451
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>12,032</b>
<b>Unit 2</b>	
Warehouse	3,711
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>4,292</b>
<b>Unit 3</b>	
Warehouse	2,909
Office (2 levels)	526
Dock office	42
<b>Total</b>	<b>3,477</b>
Café	221
Goodman office	40
<b>Total building area</b>	<b>20,062</b>



■ For lease

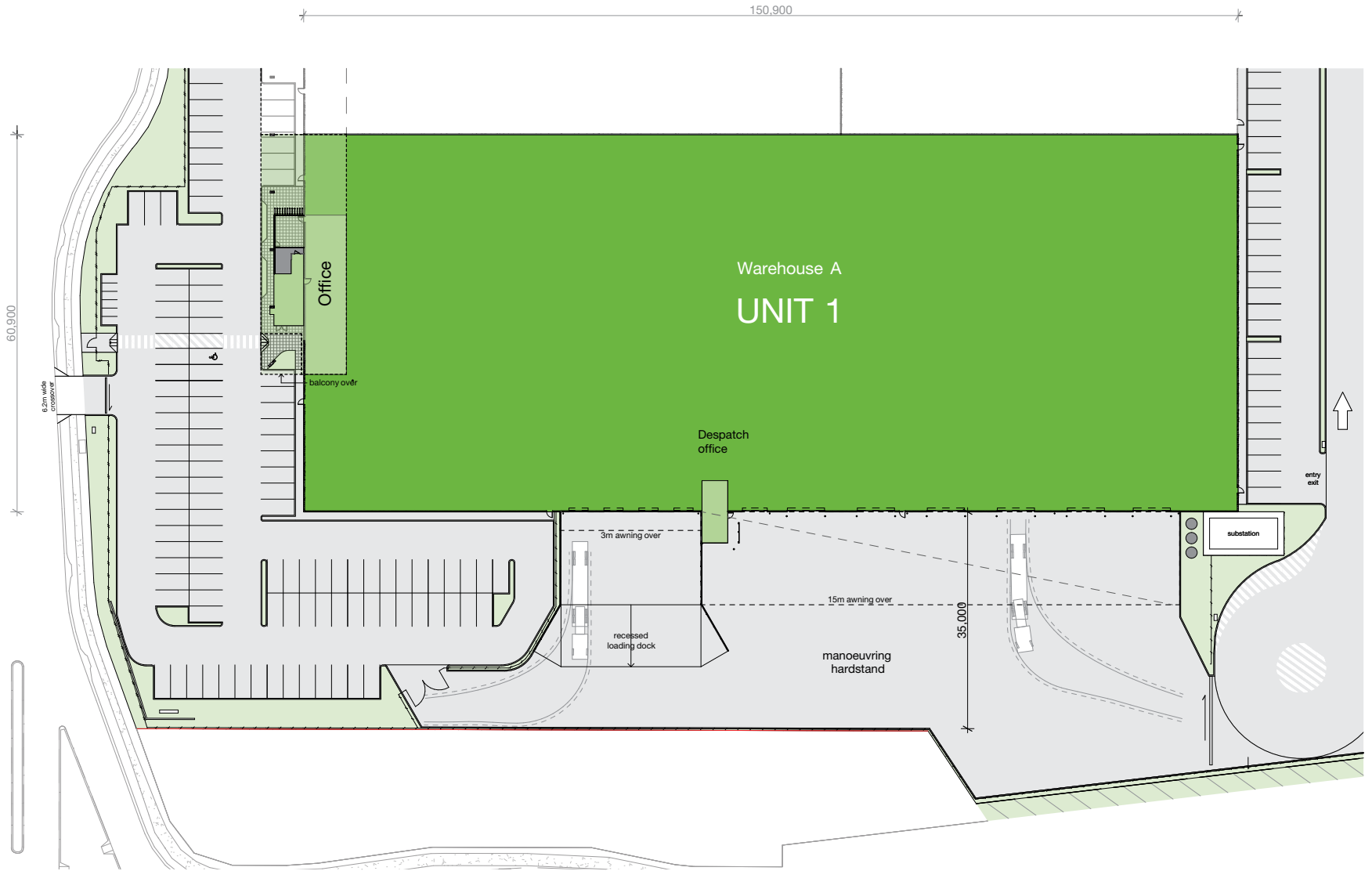
AREA SCHEDULE	SQM
<b>Site area</b>	<b>47,043</b>
Warehouse	18,071
Office 1 (2 levels)	1,078
Office 2 (2 levels)	526
Dock office	126
<b>Total</b>	<b>19,801</b>
Café	221
Goodman office	40
<b>Total building area</b>	<b>20,062</b>



■ For lease



AREA SCHEDULE	SQM
<b>Unit 1</b>	
Warehouse	9,169
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>9,750</b>
Awning area	1,159
Hardstand area	4,266
Carpark area	2,372



AREA SCHEDULE	SQM
<b>Unit 2</b>	
Warehouse	5,016
Office (2 levels)	539
Dock office	42
<b>Total</b>	<b>5,597</b>
Café	221
Goodman office	40
Awning	850
Hardstand	2,425
Carpark area	1,789



■ For lease

## AREA SCHEDULE

Office 1	SQM
Entry foyer	48
Level 1 office	491
<b>Total</b>	<b>539</b>
Dock office	42
<b>Total office area</b>	<b>581</b>

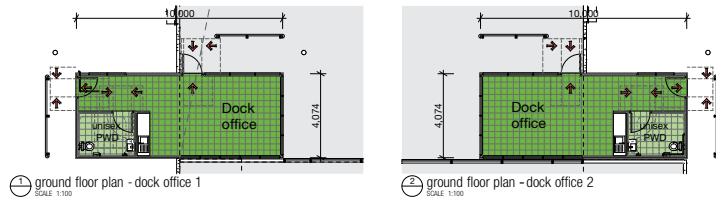
Office 2	SQM
Entry foyer	48
Level 1 office	491
<b>Total</b>	<b>539</b>
Dock office	42
<b>Total office area</b>	<b>581</b>

## AREA SCHEDULE MAXIMUM

Office 1 or 2	SQM
Entry foyer	48
Level 1 office	647
<b>Total</b>	<b>695</b>
Dock office	42
<b>Total office area</b>	<b>737</b>

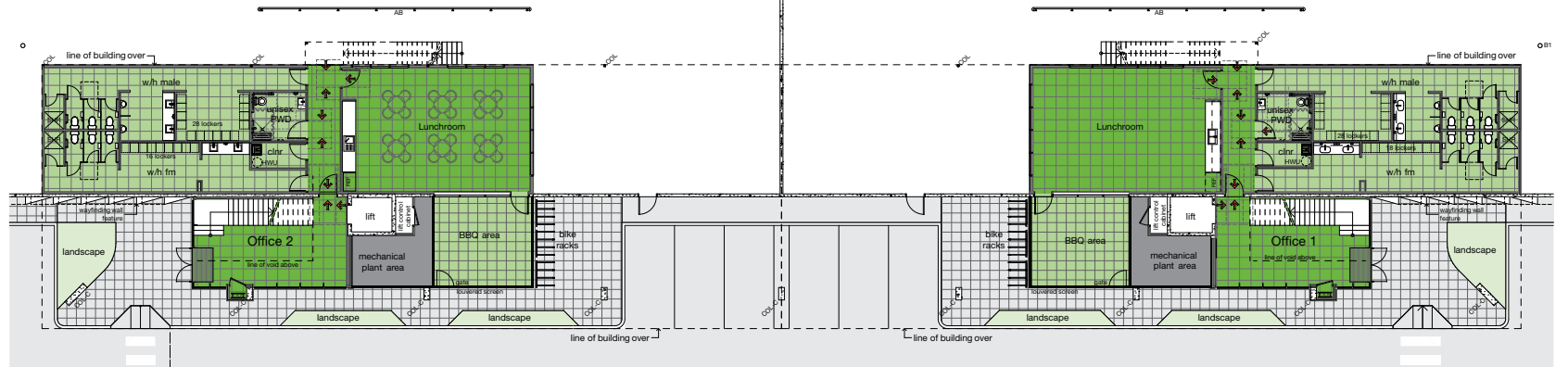
## AREA SCHEDULE MINIMUM

Office 1 or 2	SQM
Entry foyer	48
Level 1 office	335
<b>Total</b>	<b>383</b>
Dock office	42
<b>Total office area</b>	<b>425</b>

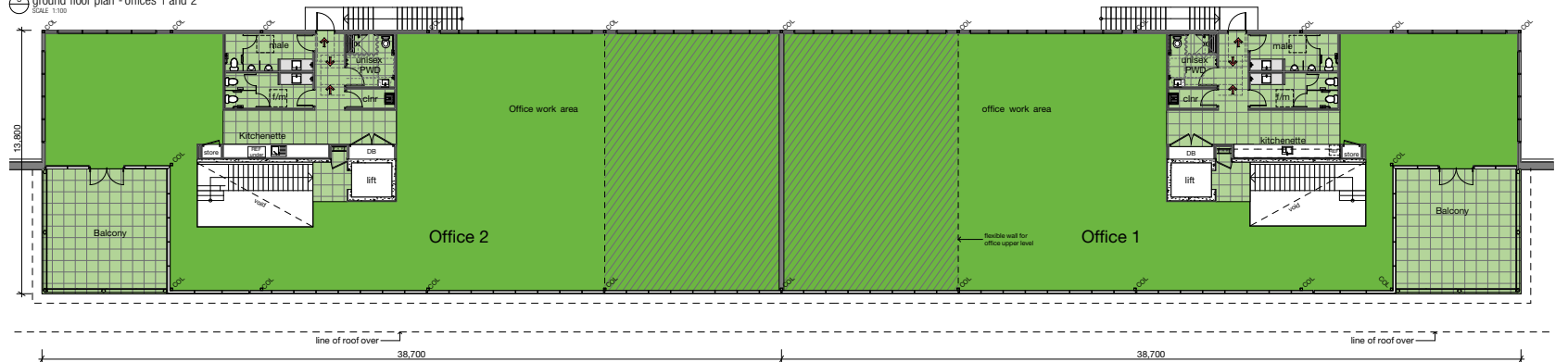


1 ground floor plan - dock office 1  
SCALE 1:100

2 ground floor plan - dock office 2  
SCALE 1:100



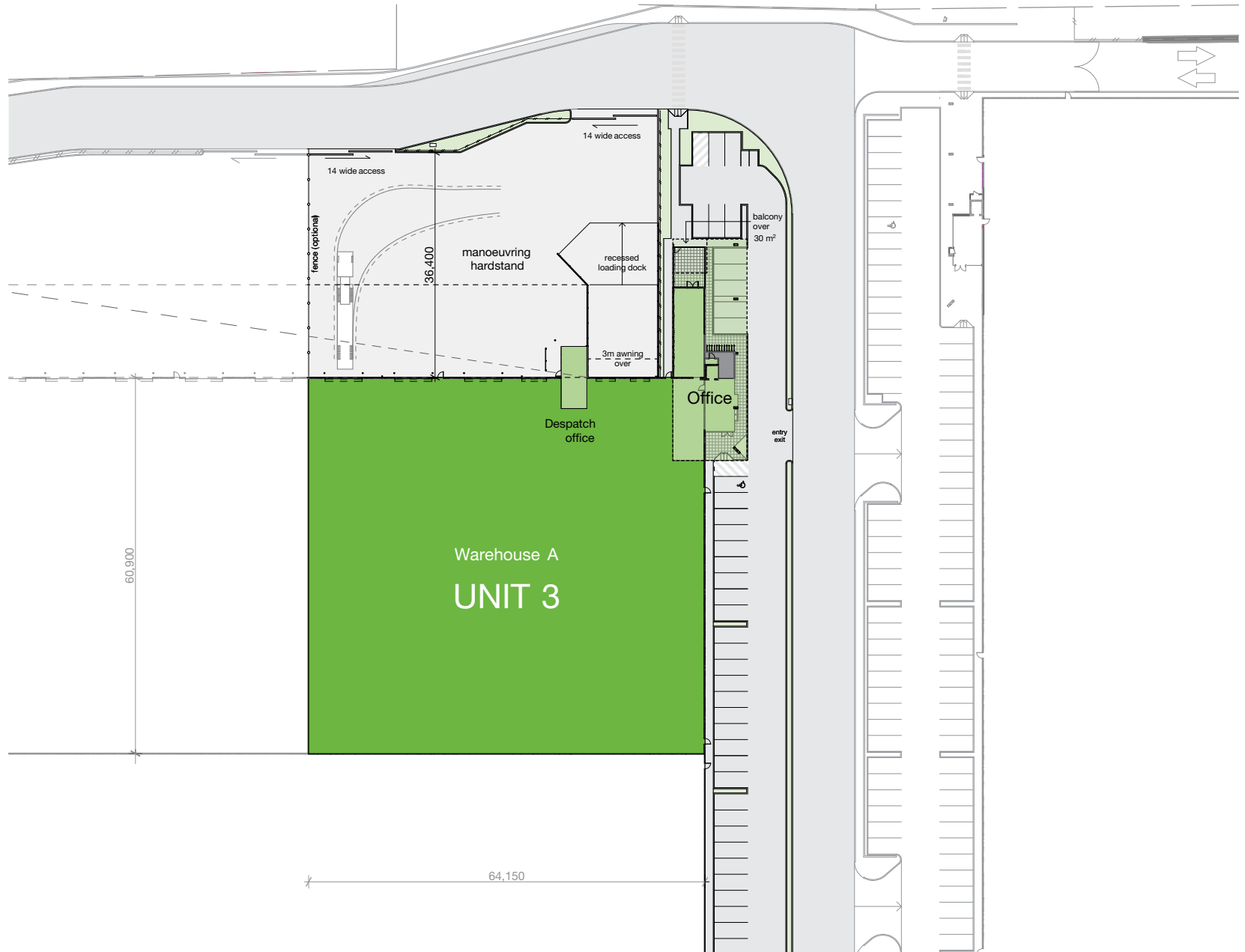
3 ground floor plan - offices 1 and 2  
SCALE 1:100



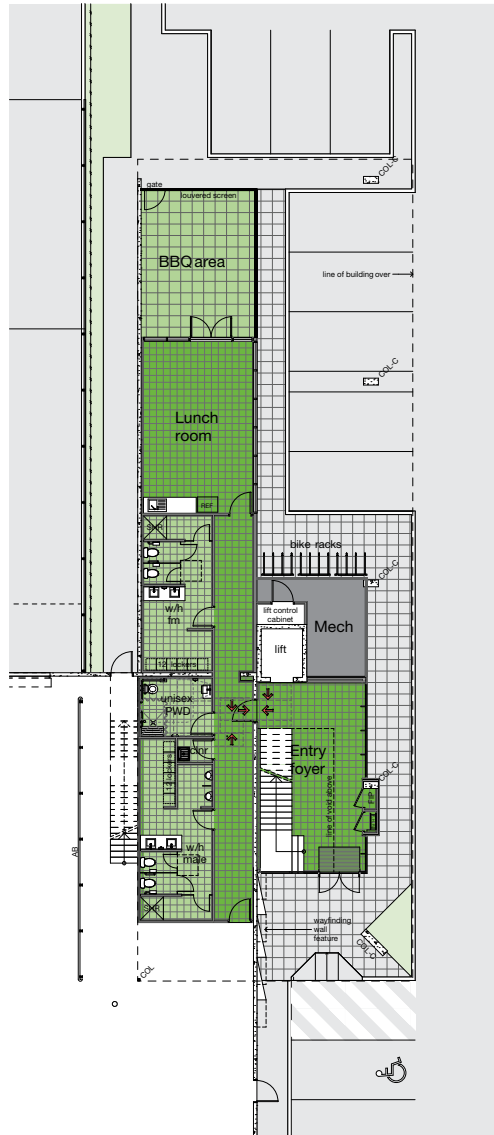
4 first floor plan - offices 1 and 2  
SCALE 1:100



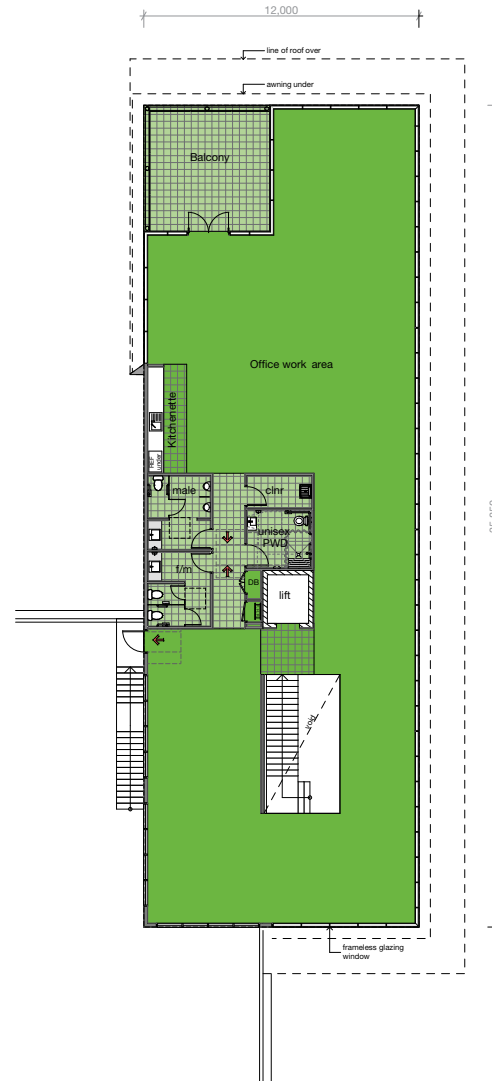
AREA SCHEDULE	SQM
<b>Unit 3</b>	
Warehouse	3,886
Office (2 levels)	526
Dock office	42
<b>Total</b>	<b>4,454</b>
Awning area	710
Hardstand area	2,202
Carpark area	1,280
Car parking spaces	34



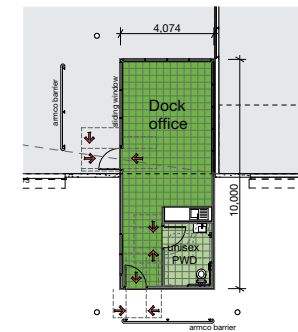
AREA SCHEDULE	SQM
Entry foyer	48
Ground level office	78
Level 1 office	400
<b>Total</b>	<b>526</b>
Dock office	42
<b>Total office area</b>	<b>568</b>



1 ground floor plan - office 3  
SCALE 1:100



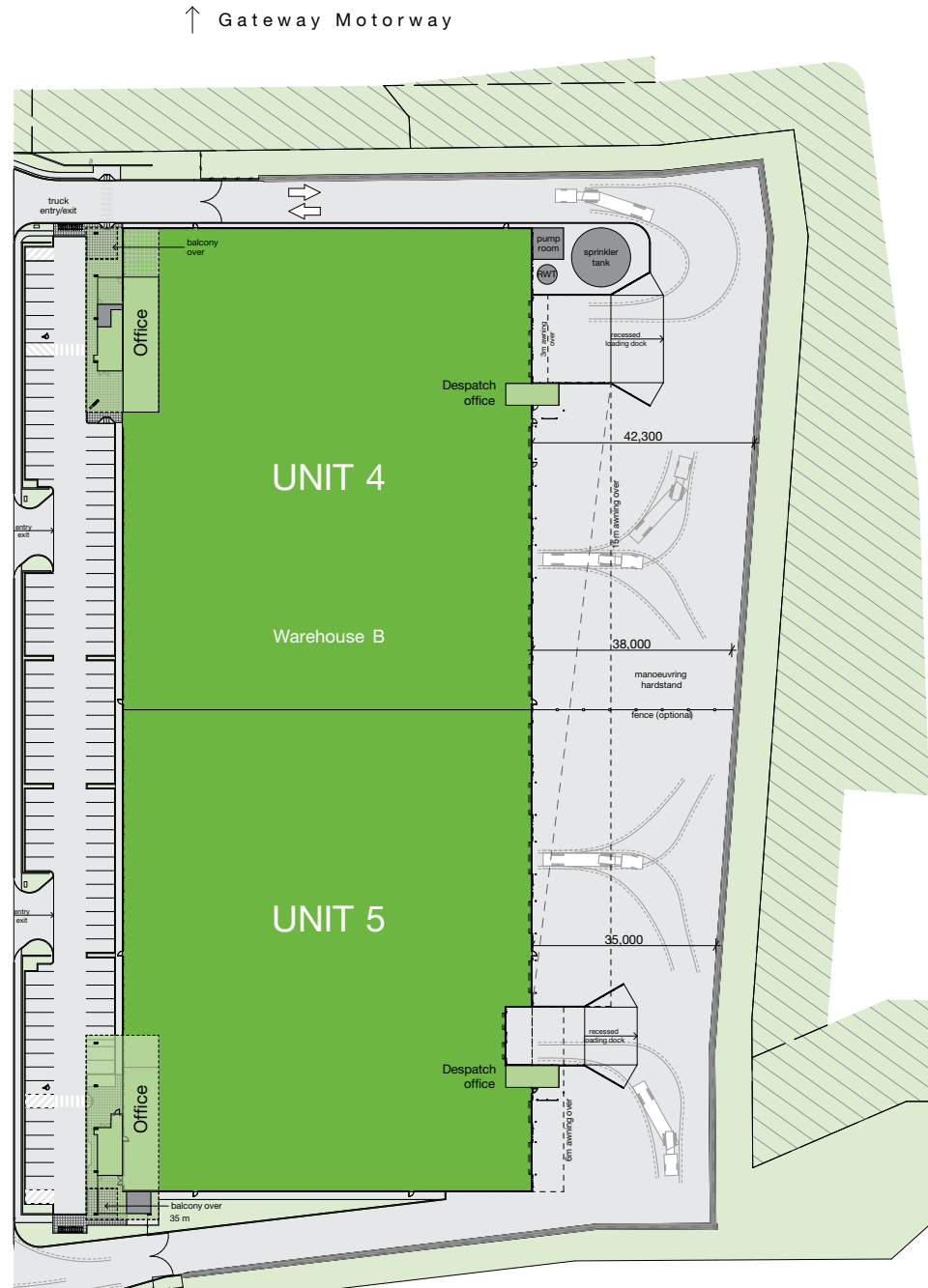
2 first floor plan - office 3  
SCALE 1:100



3 ground floor plan - dock office 3  
SCALE 1:100

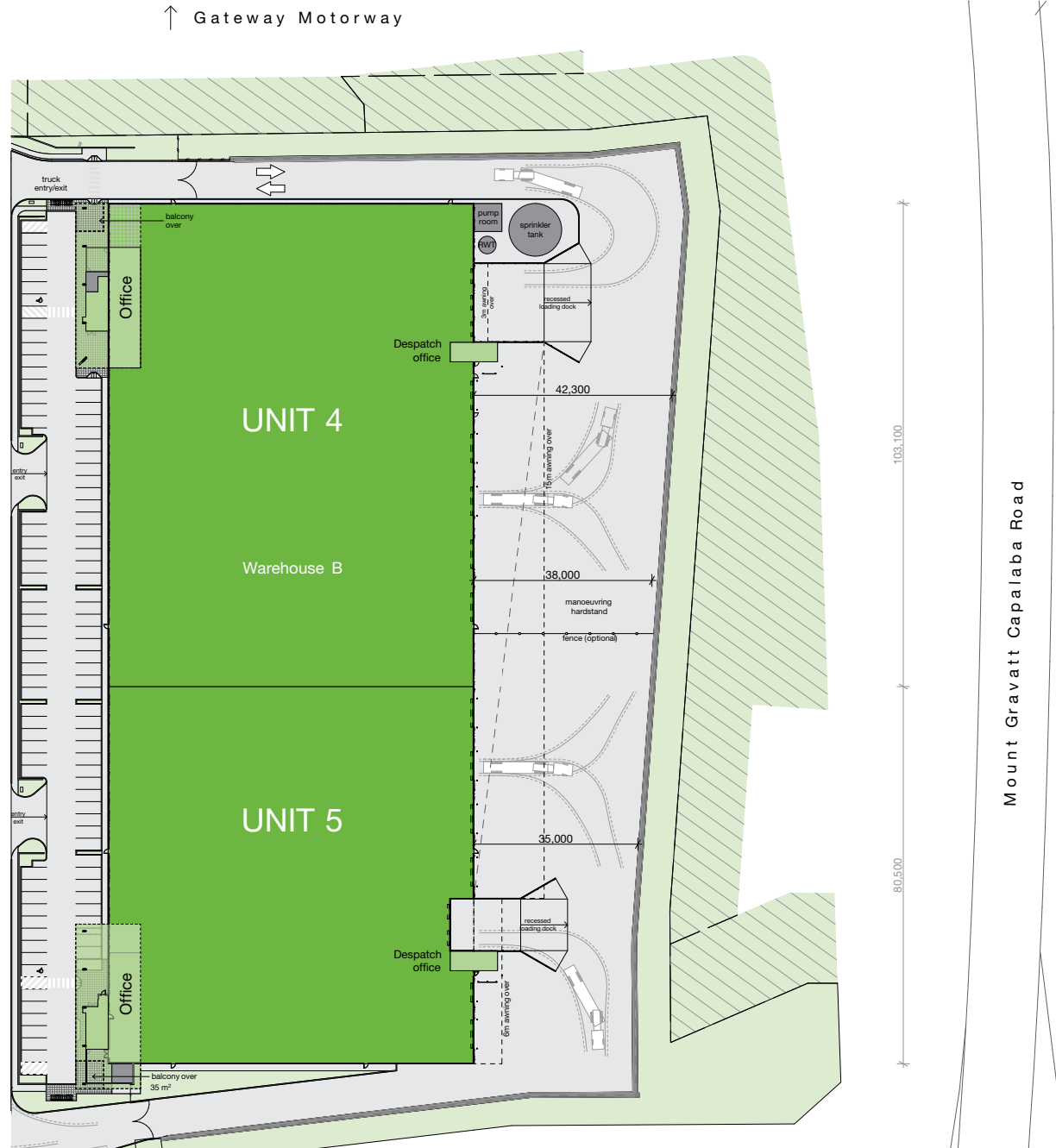


AREA SCHEDULE	SQM
<b>Site area</b>	<b>38,636</b>
<b>Unit 4</b>	
Warehouse	7,140
Office (2 levels)	497
Dock office	42
<b>Total</b>	<b>7,679</b>
<b>Unit 5</b>	
Warehouse	7,085
Office (2 levels)	499
Dock office	42
<b>Total</b>	<b>7,626</b>
<b>Total building area</b>	<b>15,305</b>

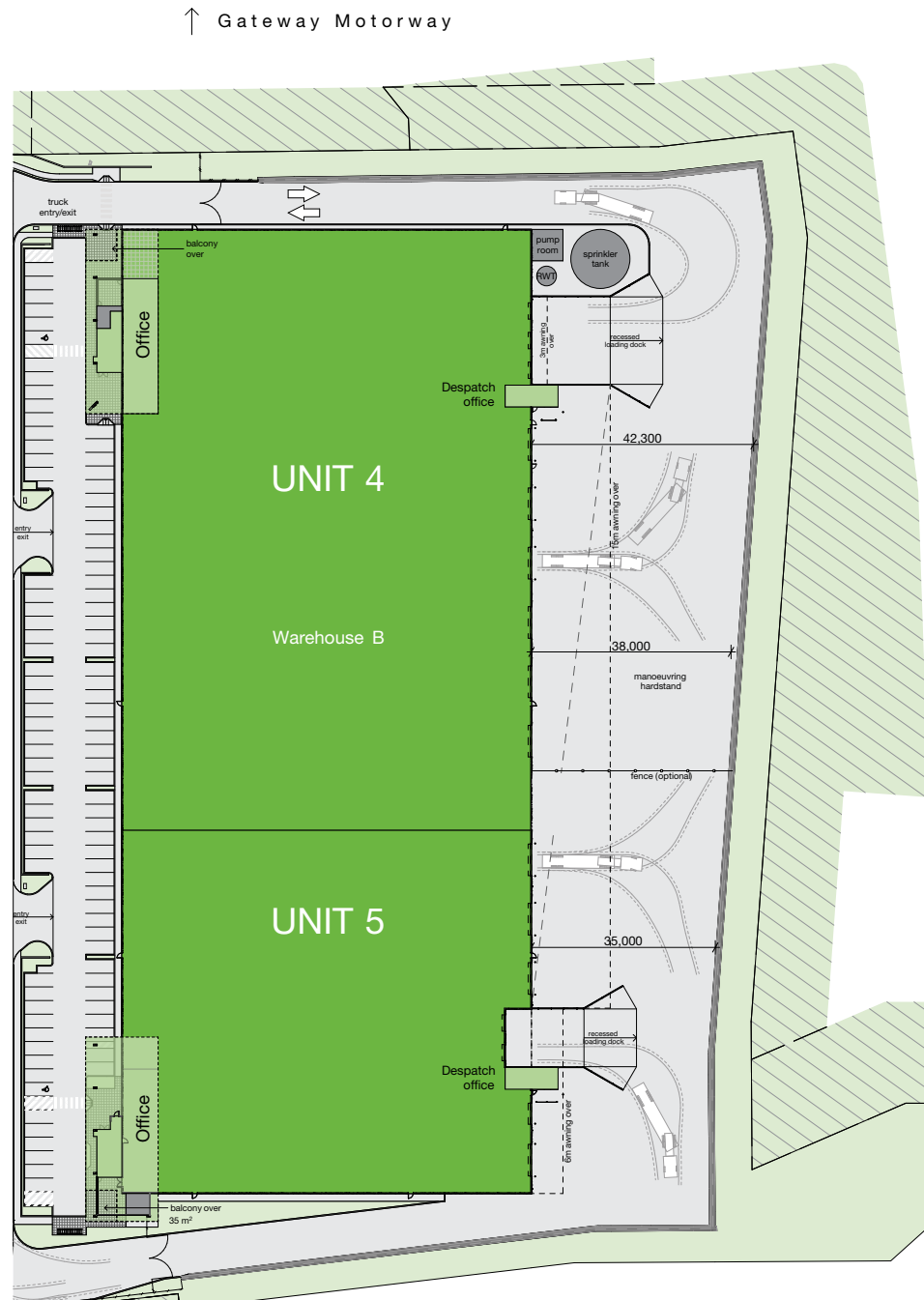


Mount Gravatt Capalaba Road

AREA SCHEDULE	SQM
<b>Site area</b>	<b>38,636</b>
<b>Unit 4</b>	
Warehouse	8,021
Office (2 levels)	497
Dock office	42
<b>Total</b>	<b>8,560</b>
<b>Unit 5</b>	
Warehouse	6,204
Office (2 levels)	499
Dock office	42
<b>Total</b>	<b>6,745</b>
<b>Total building area</b>	<b>15,305</b>

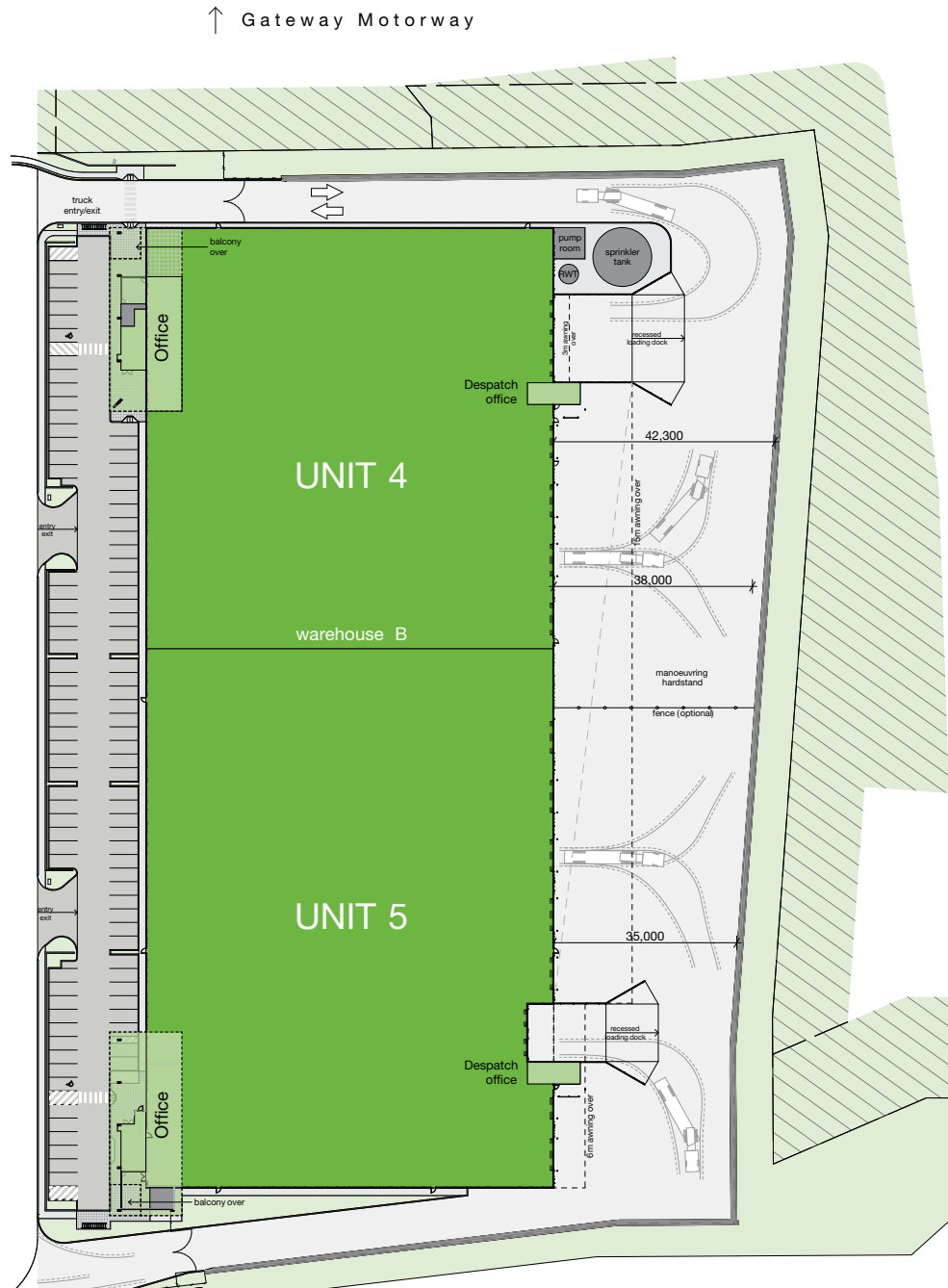


AREA SCHEDULE	SQM
<b>Site area</b>	<b>38,636</b>
<b>Unit 4</b>	
Warehouse	8,903
Office (2 levels)	497
Dock office	42
<b>Total</b>	<b>9,442</b>
<b>Unit 5</b>	
Warehouse	5,322
Office 1 (2 levels)	499
Dock office	42
<b>Total</b>	<b>5,863</b>
<b>Total building area</b>	<b>15,305</b>



■ For lease

AREA SCHEDULE	SQM
<b>Site area</b>	<b>38,636</b>
<b>Unit 4</b>	
Warehouse	6,258
Office (2 levels)	497
Dock office	42
<b>Total</b>	<b>6,797</b>
<b>Unit 5</b>	
Warehouse	7,966
Office (2 levels)	499
Dock office	42
<b>Total</b>	<b>8,507</b>
<b>Total building area</b>	<b>15,304</b>

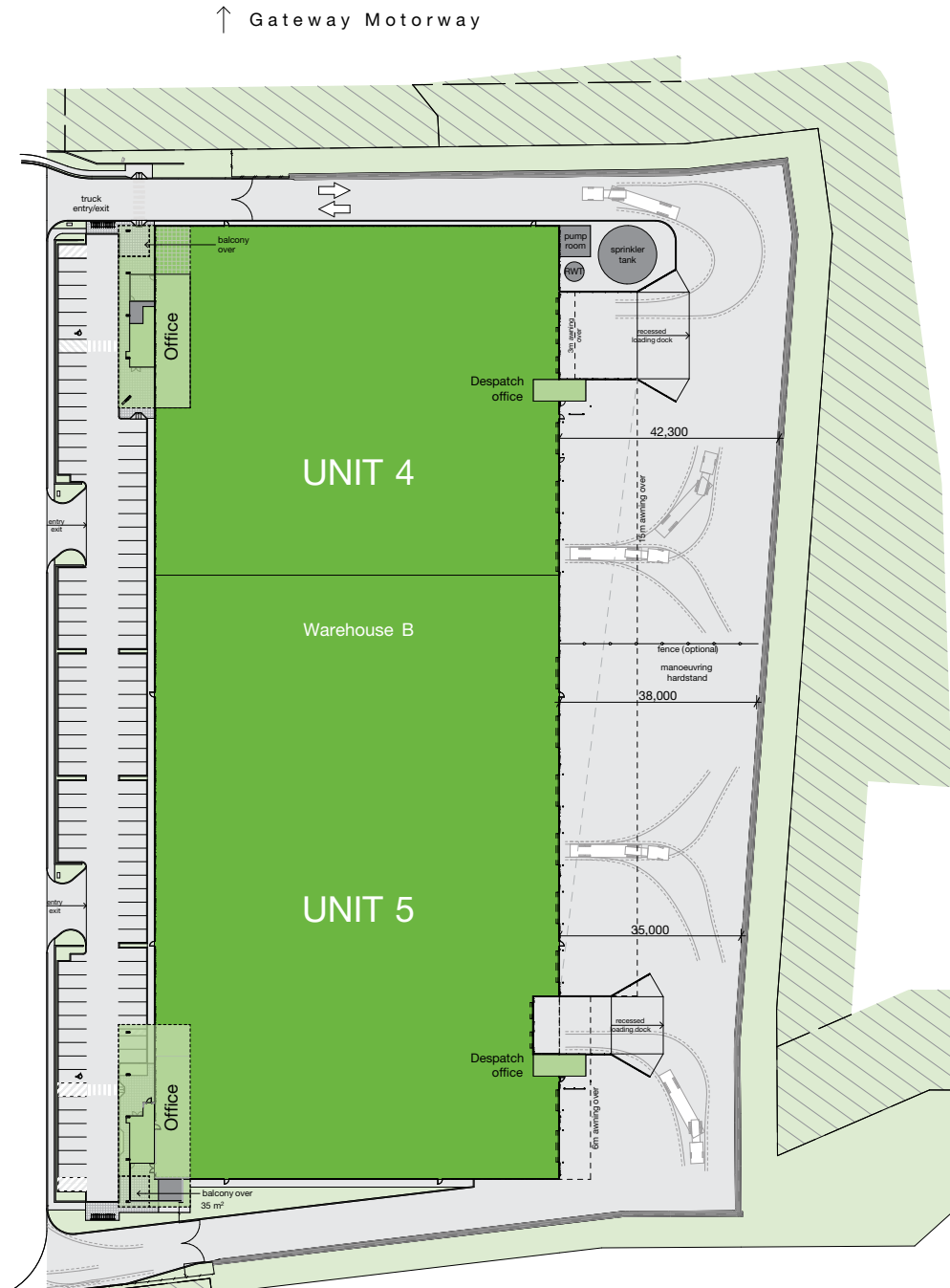


80,500

103,100

Mount Gravatt Capalaba Road

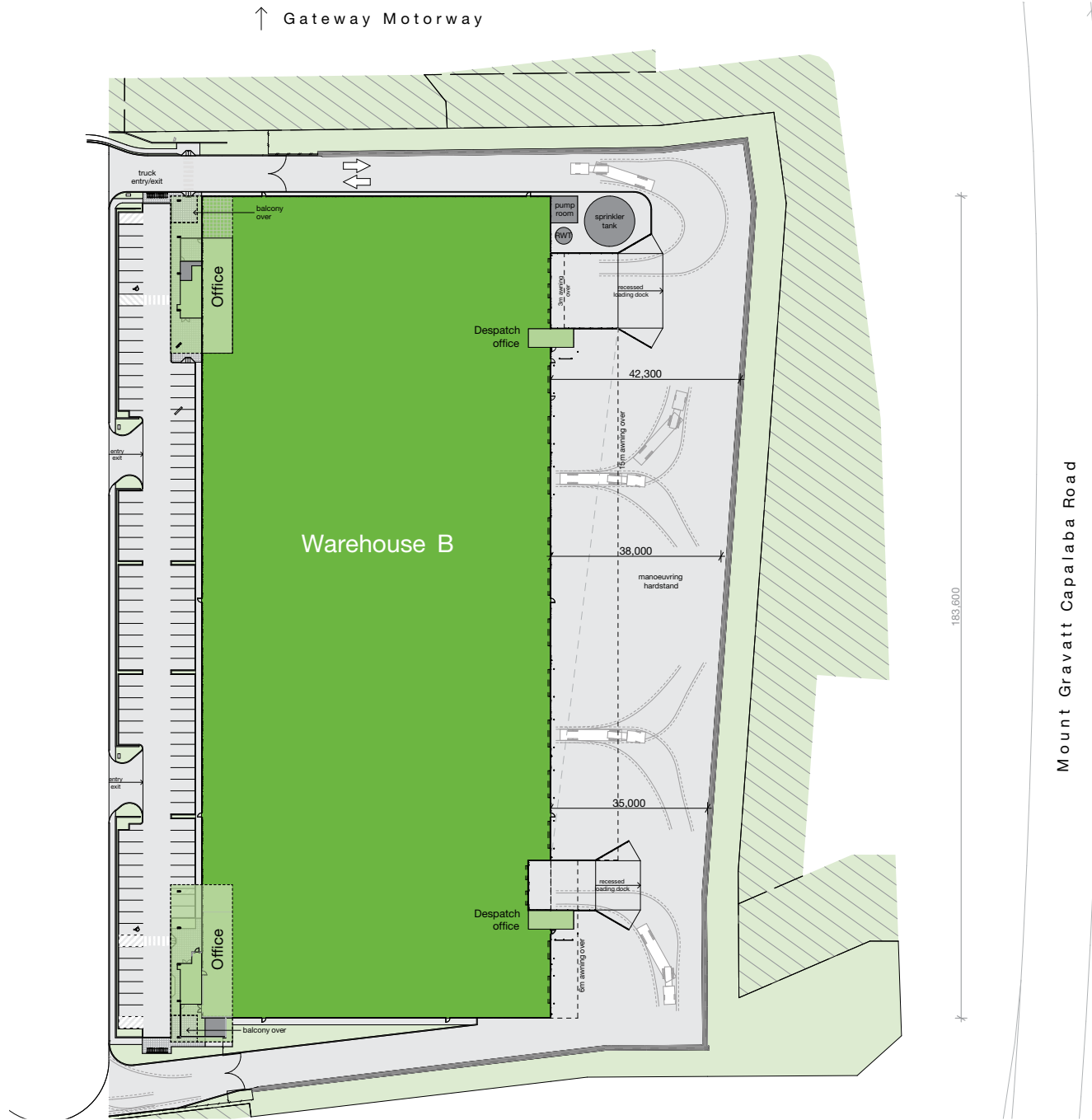
AREA SCHEDULE	SQM
<b>Site area</b>	<b>38,636</b>
<b>Unit 4</b>	
Warehouse	5,377
Office (2 levels)	497
Dock office	42
<b>Total</b>	<b>5,916</b>
<b>Unit 5</b>	
Warehouse	8,848
Office 1 (2 levels)	499
Dock office	42
<b>Total</b>	<b>9,389</b>
<b>Total building area</b>	<b>15,305</b>



■ For lease

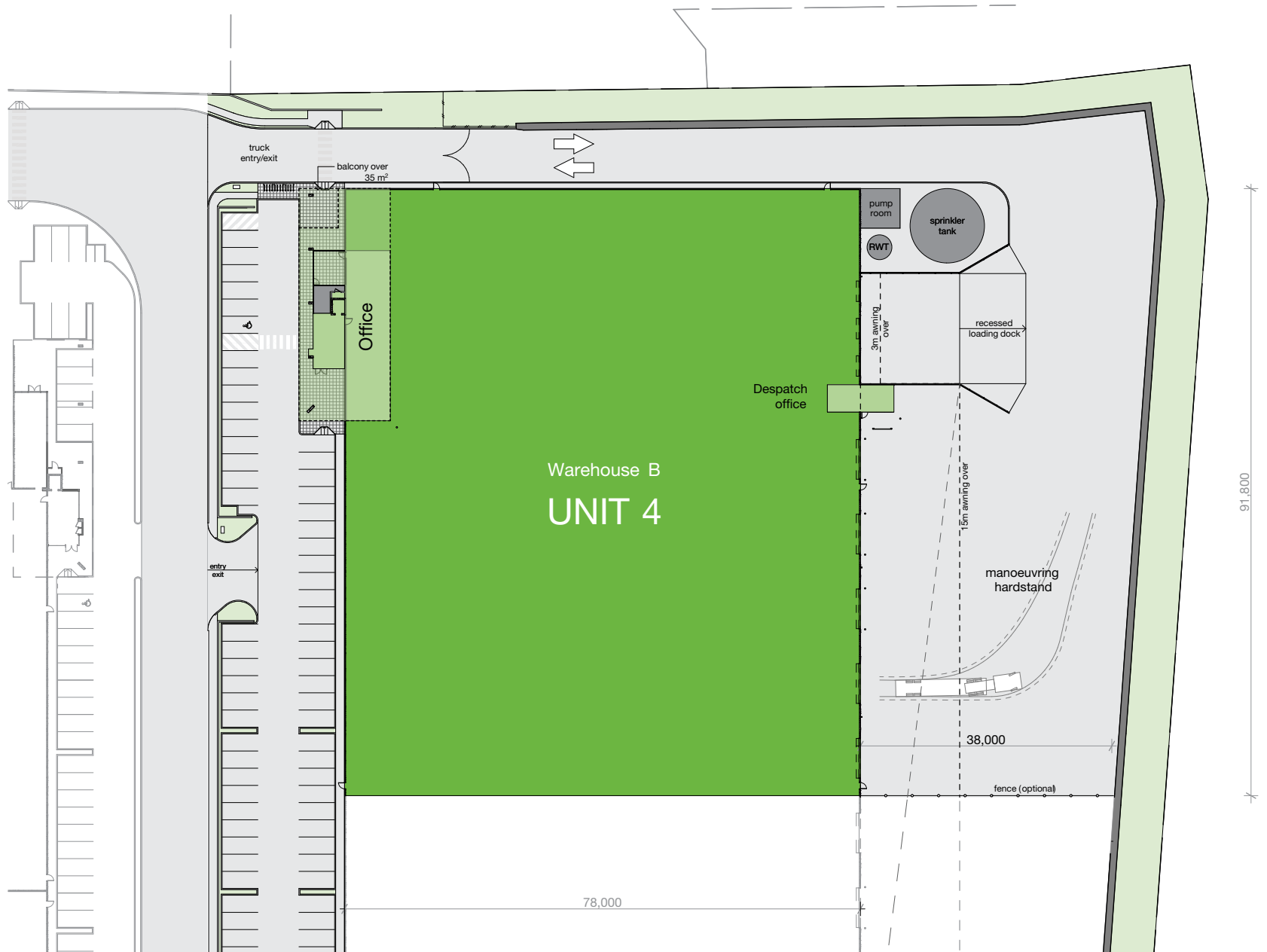
AREA SCHEDULE	SQM
Site area	38,636
Warehouse	14,225
Office 4 (2 levels)	497
Office 5 (2 levels)	499
Dock offices	84
<b>Total building area</b>	<b>15,305</b>

■ For lease



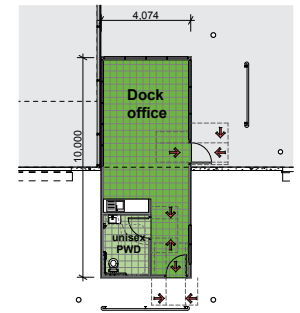
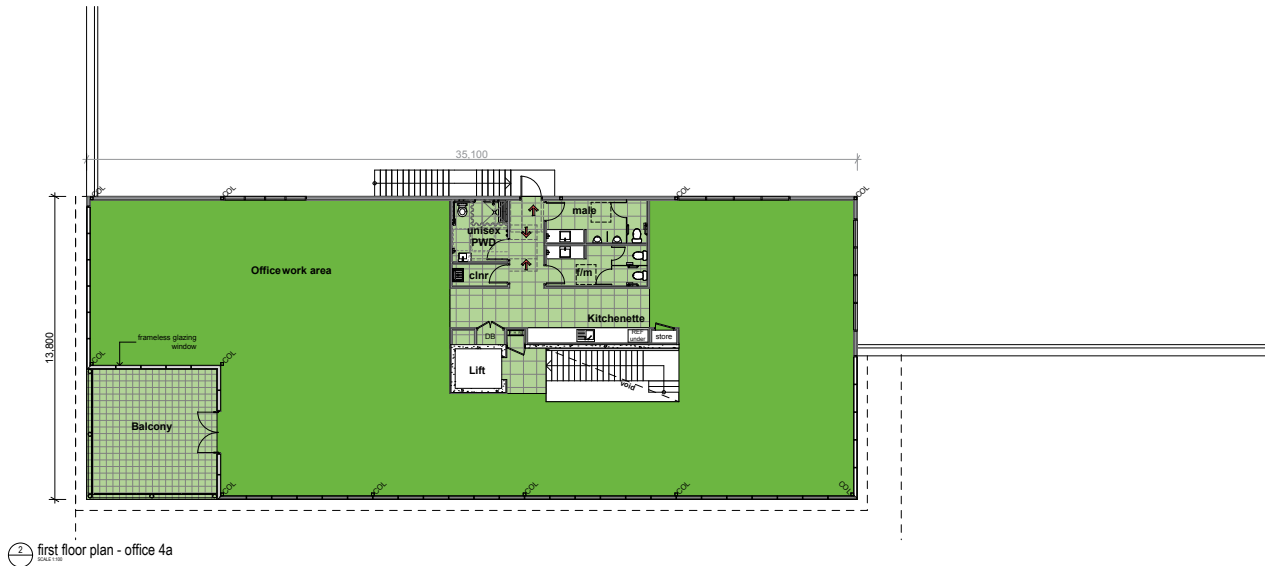
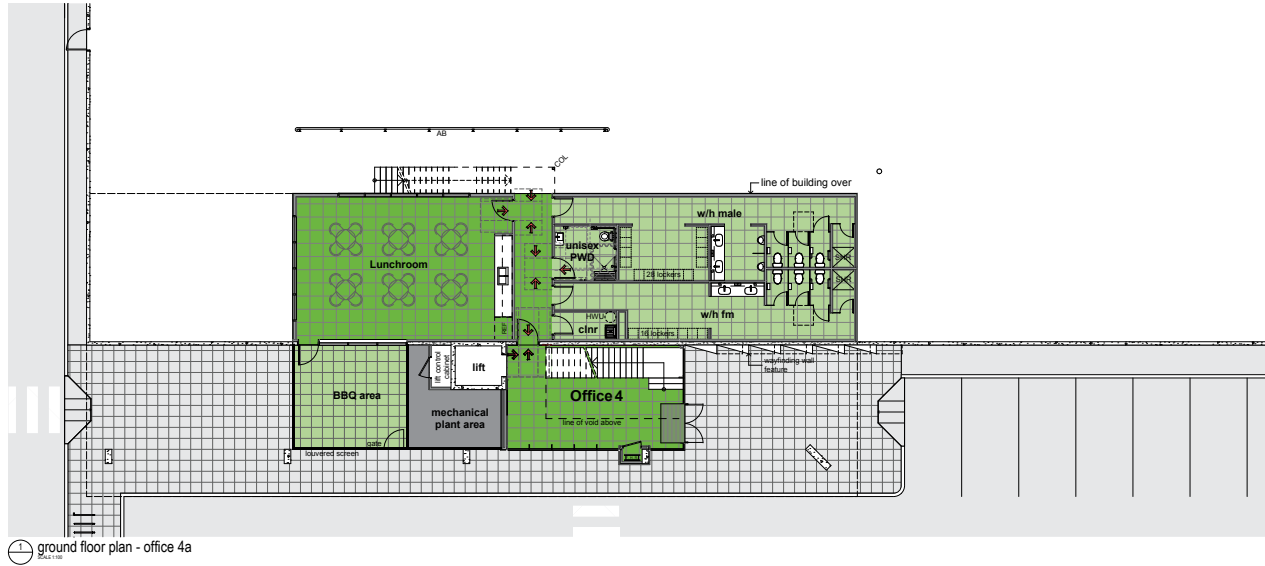


AREA SCHEDULE	SQM
<b>Unit 4</b>	
Warehouse	7,140
Office (2 levels)	497
Dock office	42
<b>Total</b>	<b>7,679</b>
Awning area	985
Hardstand area	4,765
Carpark area	1,097
Car parking spaces	56

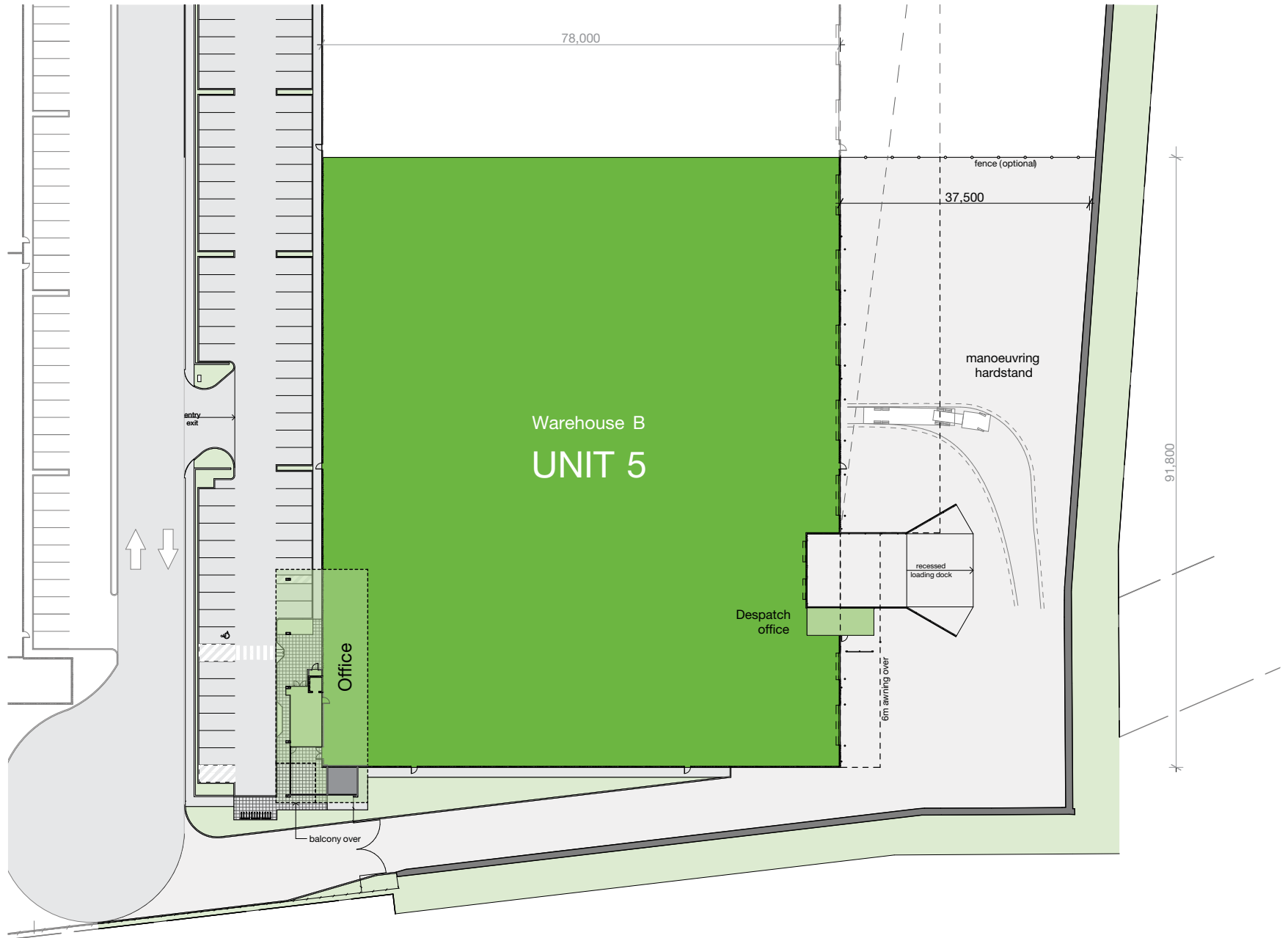


■ For lease

AREA SCHEDULE	SQM
Entry foyer	48
Level 1 office	449
<b>Total</b>	<b>497</b>
Dock office	42
<b>Total office area</b>	<b>539</b>

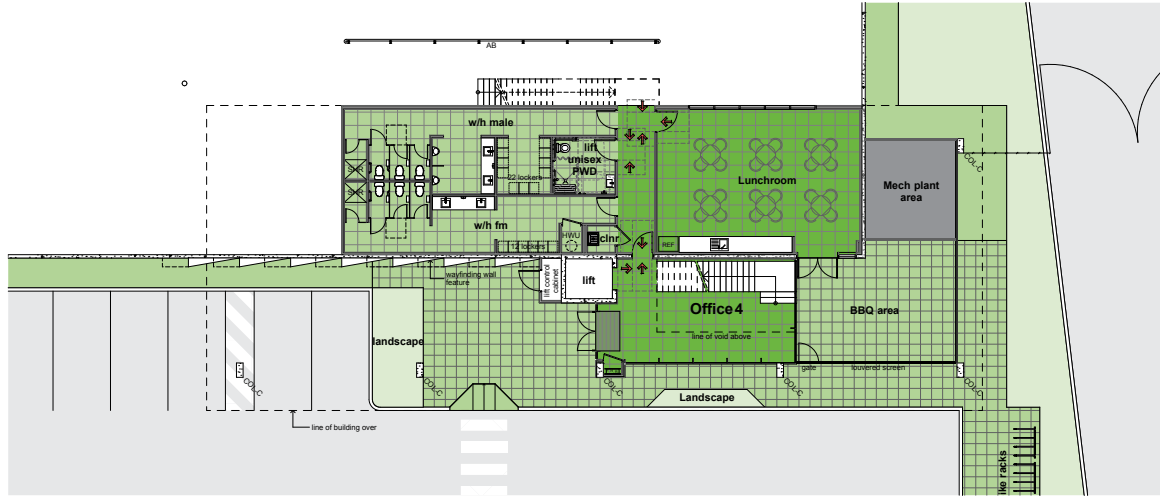


AREA SCHEDULE	SQM
<b>Unit 5</b>	
Warehouse	7,085
Office (2 levels)	499
Dock office	42
<b>Total</b>	<b>7,626</b>
Awning area	1,059
Hardstand area	4,402
Carpark area	1,337
Car parking spaces	46

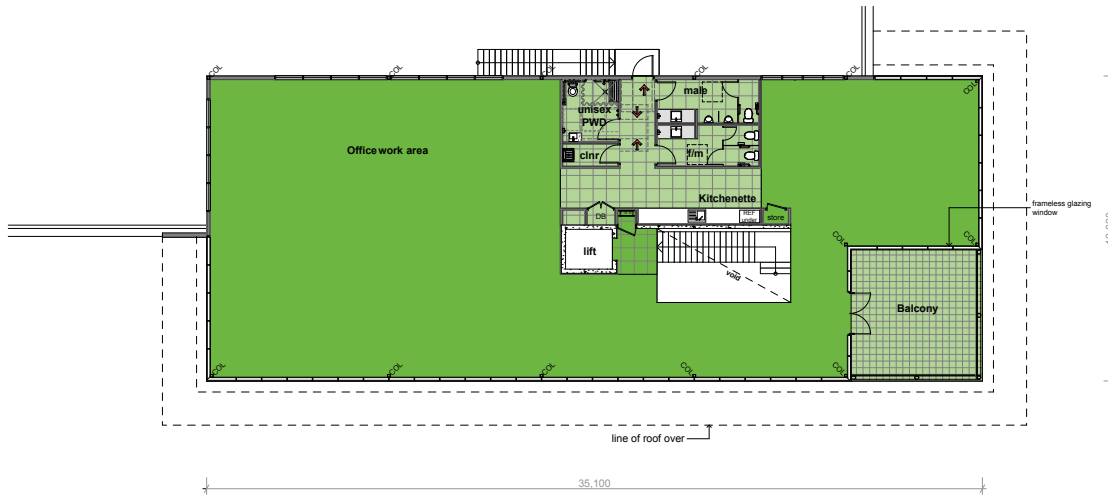


■ For lease

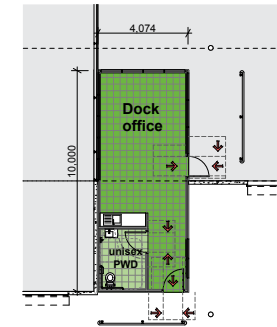
AREA SCHEDULE	SQM
Entry foyer	50
Level 1 office	449
<b>Total</b>	<b>499</b>
Dock office	42
<b>Total office area</b>	<b>541</b>



1 ground floor plan - office 5

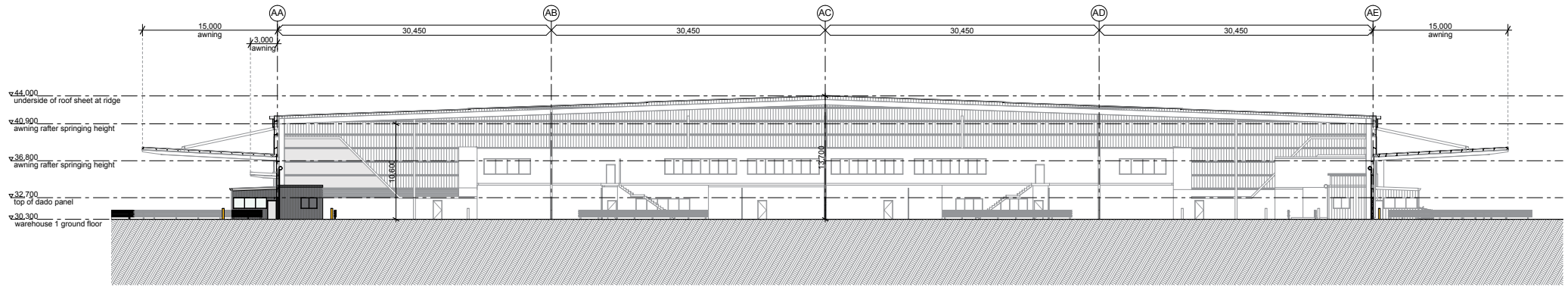


2 first floor plan - office 5

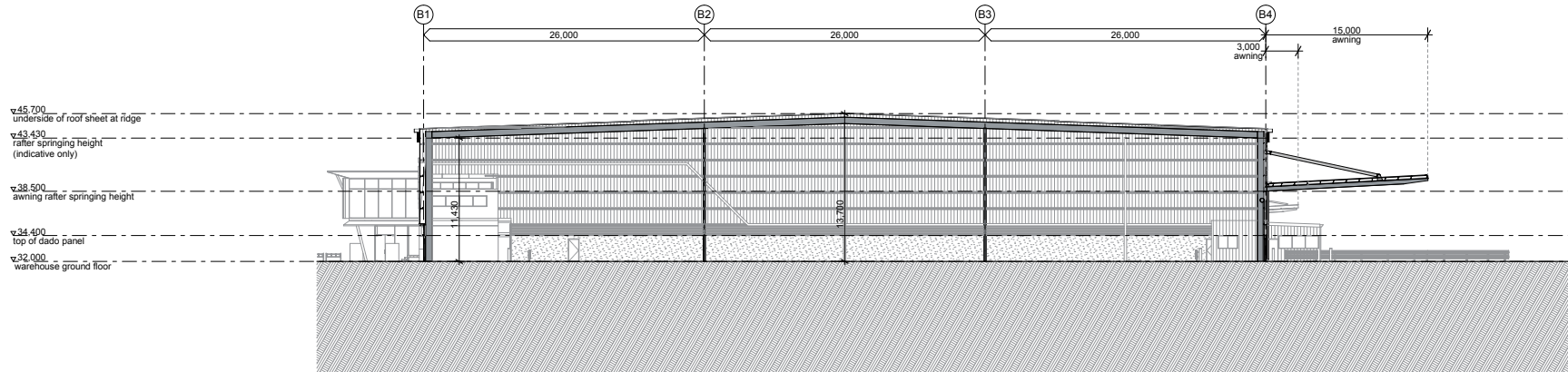


3 ground floor plan - dock office 5





1 warehouse a - section  
SCALE 1:250



2 warehouse b - section  
SCALE 1:250

**note:** final building heights will be subject to structural engineer's design

# PROVEN TRACK RECORD+



<b>Customers</b>	Silk Contract Logistics and Yusen Logistics
<b>Size</b>	Total 39,996 sqm comprising of 38,664 sqm of warehouse and 1,332 sqm of office
<b>Time to construct</b>	10 months
<b>Special features</b>	+ Upgraded fire system suitable for combustible products + Container park (90 tonne axle loads)



# PORT CONNECT DISTRIBUTION CENTRE



<b>Customer</b>	Kmart
<b>Size</b>	Total 51,857 sqm comprising of 50,065 sqm of warehouse and 1,792 sqm of office
<b>Time to construct</b>	11 months
<b>Special features</b>	+ Full drive around facility with container park + Climate control area for confectionary

# EXPORT MOTORWAY ESTATE



**Customers** PepsiCo, Deliver Group and MRC Australia

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**Size** Total 30,224 sqm comprising of 28,028 sqm of warehouse and 2,196 sqm of office

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**Time to construct** 9 months







REDBANK MOTORWAY ESTATE



<b>Customers</b>	DB Schenker / Zenexus
<b>Size</b>	Total 46,994 sqm comprising of 46,005 sqm of warehouse and 989 sqm of office
<b>Time to construct</b>	9 months
<b>Special features</b>	<ul style="list-style-type: none"> <li>+ Tapa security standard compliant facility</li> <li>+ Back up power generator</li> <li>+ Flexible inter-tenancy wall to provide for future growth</li> </ul>

# REDBANK MOTORWAY ESTATE



<b>Customers</b>	Northline, Tyres4U
<b>Size</b>	Total 23,336 sqm comprising of 22,516 sqm of warehouse and 820 sqm of office
<b>Time to construct</b>	9 months
<b>Special features</b>	+ Drive through / breezeway facility + Fire system upgraded for compliant tyre storage





REDBANK MOTORWAY ESTATE

<b>Customer</b>	TNT
<b>Size</b>	Total 27,851 sqm comprising of 26,422 sqm of warehouse and satellite buildings and 1,429 sqm of office
<b>Time to construct</b>	11 months
<b>Special features</b>	<ul style="list-style-type: none"> <li>+ Fully automated sortation system integrated with base building</li> <li>+ Maintenance, truck wash and refuelling facilities on-site</li> <li>+ Customer collections facility</li> <li>+ Permanent back up generator</li> </ul>



# ROCHEDALE MOTORWAY ESTATE



<b>Customer</b>	Amart Furniture
<b>Size</b>	50,571 sqm comprising of 48,507 sqm of warehouse and 2,064 sqm of office
<b>Time to construct</b>	11 months
<b>Special features</b>	<ul style="list-style-type: none"> <li>+ 38 recessed docks</li> <li>+ 25m drive through canopy</li> <li>+ 30m semi cantilevered awning</li> <li>+ 3,500 sqm warehouse mezzanine</li> <li>+ 100 kw solar PV system</li> <li>+ Fire system upgrade for expanded plastic</li> </ul>





## ROCHEDALE MOTORWAY ESTATE



<b>Customers</b>	Japanese Food Corporation (JFC), Franklyn and Moreton Hire
<b>Size</b>	Total 21, 644 sqm comprising of 19,657 sqm of warehouse and 1,987 sqm of office
<b>Time to construct</b>	8 months
<b>Special features</b>	+ Freezer/chiller facilities integrated into base building works for JFC





<b>Customer</b>	Beaumont Tiles
<b>Size</b>	Total 13,287 sqm comprising of 12,682 sqm of warehouse and 605 sqm of office
<b>Time to construct</b>	7.5 months
<b>Special features</b>	+ 9 tonne slab point loading for tile storage + Very narrow aisle racking solution



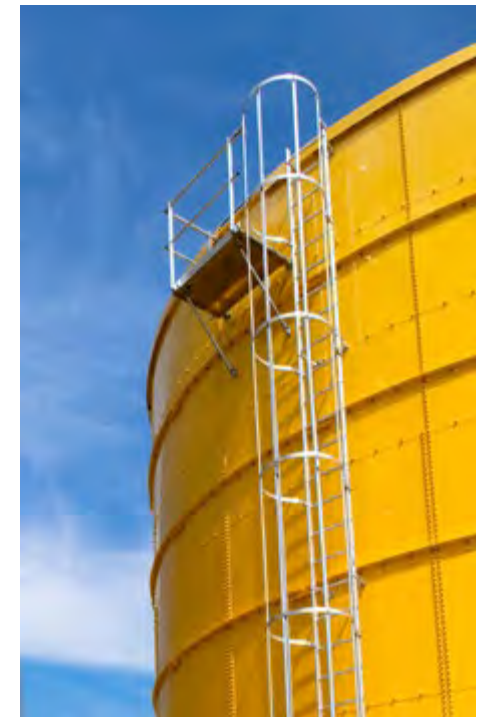
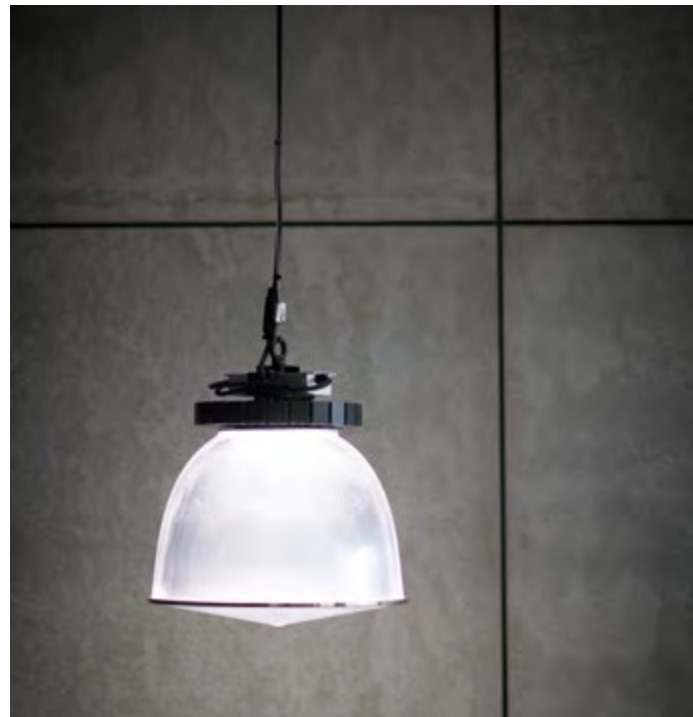
# ESD initiatives

Environmental sustainability is an important consideration for Goodman and our customers.

In Australia Goodman has successfully delivered a number of innovative developments that incorporate Ecologically Sustainable Design (ESD) initiatives. Goodman is the platinum sponsor of the Green Star Industrial Pilot tool.

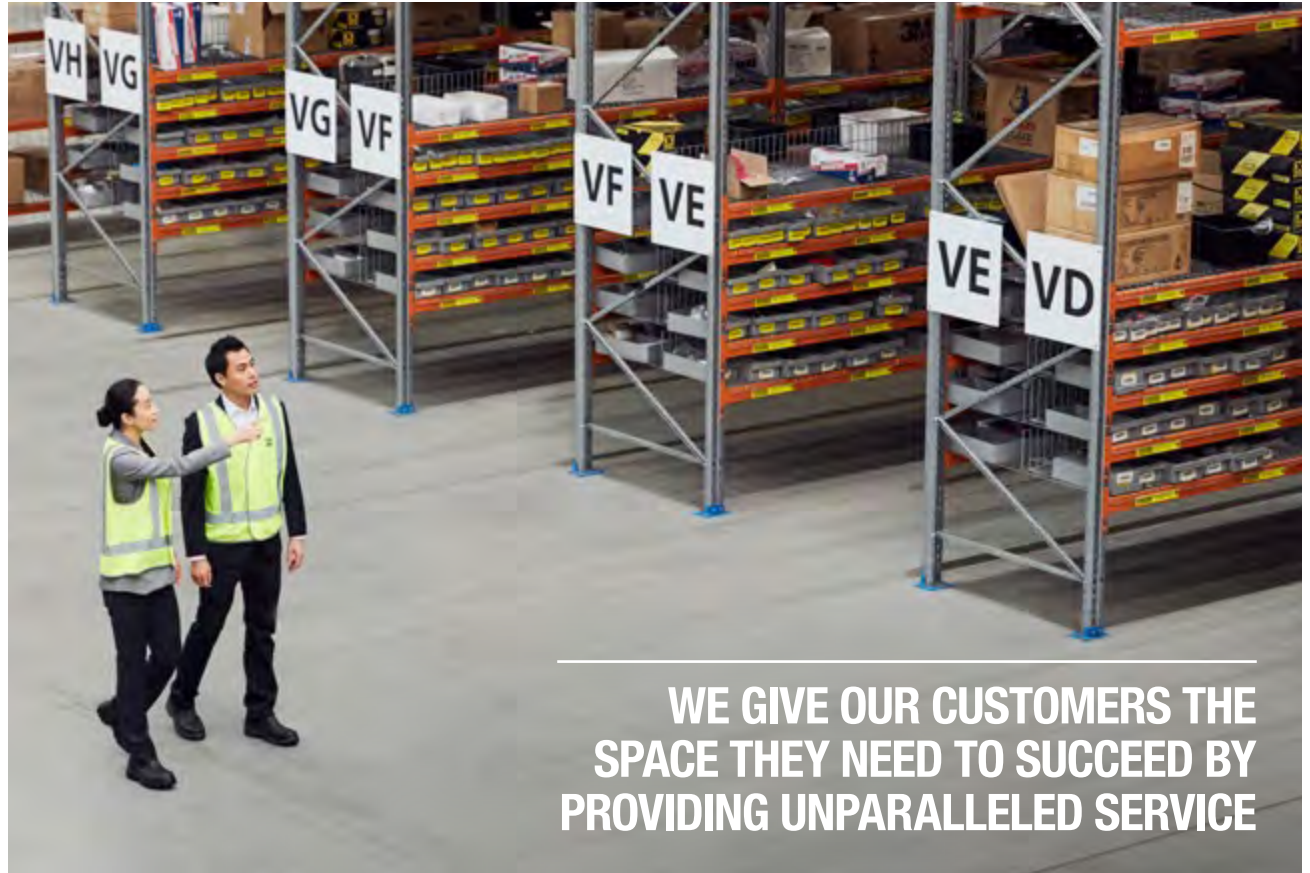
At Goodman we work closely with customers to integrate ESD principles into our developments. The following initiatives will be incorporated within the development.

- + Implementation of rainwater harvesting (rainwater tanks) for re-use
- + LED lighting to the warehouse with zoned PE sensors
- + Movement sensor lighting in the office areas
- + Translucent sheeting to enhance natural light without increased heat load
- + Native plants and drip irrigation landscaping
- + Solar heated hot water.



# Manage

Dedicated Building Managers provide on-site support for day-to-day operations, while Property and Asset Managers are available to discuss any lease queries, invoicing issues or modifications to tenancies.



**WE GIVE OUR CUSTOMERS THE SPACE THEY NEED TO SUCCEED BY PROVIDING UNPARALLELED SERVICE**

# Service

To ensure our customers receive the best possible service, all of our estates have in-house property services teams that attend to customers' operational needs and ensure maintenance and presentation standards are exceptional.





# Goodman overview



## OWN+DEVELOP+MANAGE

With total assets of A\$42.9 billion and 384 properties under management, Goodman is one of the largest listed industrial property groups in the world. We are building value in property and fund management with innovative new developments, business models and investment offerings.

Our integrated **own+develop+manage** customer service offering is at the heart of everything we do. This approach allows us to build a comprehensive understanding of customer needs, resulting in long-term relationships, superior investment returns and developments that meet organisations' individual requirements.

With approximately 1,000 professionals working in 29 offices across 17 countries, Goodman has the global reach to meet our customers' changing needs.

**GOODMAN IS ONE  
OF THE LARGEST  
LISTED INDUSTRIAL  
PROPERTY GROUPS  
GLOBALLY**



We invest in business parks, office parks, industrial estates, warehouses and distribution centres. We offer a range of listed and unlisted property funds, giving investors access to our specialist services and property.

# \$42.9bn

total assets under management

# 1,600+

business space customer base (approx.)

# 17.9m

sqm of business space under management

# 384

business space properties under management

# 17

total number of countries operating in

# \$3.6bn

development work in progress

# 1,000+

dedicated property professionals (approx.)

# 29

offices worldwide

# Safety at work

Goodman has a global platform informing our safety policy. Our approach is well considered and based on an evolving set of design principals established from years of experience and leveraging industry wide lessons learned.



## Safety in Design

- + Rigorous safety in design assessment and review process
- + Industry leading specification
- + Technical consultation
- + Safe design principals incorporated into the entire building life-cycle.

## Safety in Construction

- + Pre-qualified D&C contractors
- + Collaborative design and construct process
- + Transparent safety reporting
- + Routine safety audits.

## Safety in Occupation

- + Pre-qualified service and maintenance contractors
- + High risk work permit process
- + Highly skilled and competent property management team
- + Height safety beyond standard and industry leading
- + Ongoing risk identification and mitigation process
- + Smart technologies employed for inductions and site registration
- + Real time alert systems.

# Contact



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