

**214 BRIDGEMAN ROAD,
BRIDGEMAN DOWNS QLD 4035**

INFORMATION MEMORANDUM

PREPARED BY RAY WHITE SPECIAL PROJECTS QLD
SEPTEMBER 2019



Brisbane CBD

Westfield
Chermside

Prince Charles
Hospital

McDowall Village
Shopping Centre

Aspley Hypermarket
Shopping Centre

Carseldine Central
Shopping Centre

Bevan Road

Sandstone Road



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THE OPPORTUNITY

Ray White Special Projects Qld are pleased to exclusively offer to the market via Offers to Purchase, this 1.99Ha* property located at 214 Bridgeman Road, Bridgeman Downs QLD 4035.

The property is offered on behalf of the 'Estate', with the key features summarised below:

- Centrally located in a catchment with diminishing acreage land
- Solid 4 bedroom plus study, 2 bathroom, 6 car accommodation, brick and tile house with ducted air-conditioning, solar, secured covered outdoor areas and multiple sheds
- Well maintained yard areas
- Surrounded by affluent acreage properties, within a tightly held market
- Offering a range of possibilities including move straight in and occupy, renovate or develop^
- Zoned 'Rural' under the Brisbane City Plan 2014
- 850m* to Carseldine Central Shopping Centre, within 6km* to Westfield Chermside & The Prince Charles Hospital and central to a range of Brisbane's best schools
- 15km* to the Brisbane CBD

As the exclusive marketing agent, I encourage your strong consideration of this outstanding property and look forward to assisting you with your enquiries.



Matthew Fritzsche
Ray White Special Projects (QLD)

M 0410 435 891

E matthew.f@raywhite.com

*Approximately

^Subject to Brisbane City Council zoning amendments and site servicing

Important: Prospective purchasers conduct due diligence investigations of the property strictly at their own expense and risk, and the vendor will have no liability in relation to such expenses. Consent by the vendor to the conduct by any potential purchaser of due diligence activities or investigation will not in any circumstance be construed as a representation that the vendor will be exercising, or refraining from exercising its rights to deal with the property, or any representation that the vendor intends to contract with that potential buyer, or at all.

SALE SUMMARY

Address 214 Bridgeman Road, Bridgeman Downs QLD 4035

The property is being offered for sale via Offers to Purchase.

The sellers retain the right (in their absolute discretion) to:

- Decline to consider and/or accept any OTP lodged in response to this invitation;
- Negotiate directly with any party who has lodged an OTP at any stage;
- Accept or decline a non-conforming OTP at any stage of the sale process;
- Enter into any agreement for sale of the property on such terms as are acceptable to the Seller in the Seller's absolute discretion;
- Change this invitation;
- Require additional information from a party who has lodged an OTP;
- Reject all or any OTP at any time for any reason; and
- Withdraw the property from sale

Sale Details

If an OTP is to be submitted by hard copy, it is to be enclosed within a sealed envelope marked clearly with:

OTP for 214 Bridgeman Road, Bridgeman Downs
c/- Matthew Fritzsche
Ray White Special Projects (QLD)
Level 26, One One One Eagle Street
111 Eagle Street, Brisbane Qld 4000

If the OTP is to be submitted electronically, details are as follows:

c/- Ray White Special Projects (QLD)
Facsimile: (07) 3832 4777
E-mail: matthew.f@raywhite.com

Inspections

Inspections are by appointment only.
Please contact the marketing agent below to make arrangements.

Marketing Agent

Matthew Fritzsche
Ray White Special Projects (Qld)
M: 0410 435 891
E: matthew.f@raywhite.com

PROPERTY OVERVIEW

Address	214 Bridgeman Road, Bridgeman Downs 4035
Real Property Details	Lot 1 on SP222229
Town Planning	RU Rural
Local Authority	Brisbane City Council
Land Area	1.99ha*
Site Description	<p>The property forms an irregular shaped residential property, which benefits from 115 metres of road frontage to Bridgeman Road to the properties eastern alignment. The property is vegetated along the northern and western boundaries. Access is provided to the southern position of the Bridgeman Road frontage, via a single concrete crossover.</p> <p>The property displays a gently sloping topography through to the rear boundary.</p>
Existing Dwelling	<p>The land is improved with solid 4 bedroom, 2 bathroom, 2 car garage, brick and tile house with ducted air-conditioning, solar, secured covered outdoor areas, 2 car carport, large 3-4 bay shed and 2 garden sheds.</p> <p>The yard areas are very well maintained, with easy access provided to the house from Bridgeman Downs Road. The property comprises modern fencing along the eastern and southern boundaries.</p>

*Approximately





TOWN PLANNING OVERVIEW

Zoning

Under the Brisbane City Plan 2014, the subject site is identified as being contained within the Rural Zone.

It is further within the bounds of the Bracken Ridge and District Neighbourhood Plan-- Bridgeman Downs Precinct.

The Bridgeman Downs Precinct (Bracken Ridge and District Neighbourhood Plan/NPP-011) overall outcomes are:

- Areas of unserviced land in Bridgeman Downs as shown in Figure a do not accommodate urban development other than that permitted in the Rural zone until the land is adequately serviced.
- Development preserves and enhances waterway corridors, locally significant habitat and biodiversity values, native vegetation and productive agricultural land.

Neighbourhood Plan

The property comes under the 'unserviced area' of the Bracken Ridge and District Neighborhood Plan.

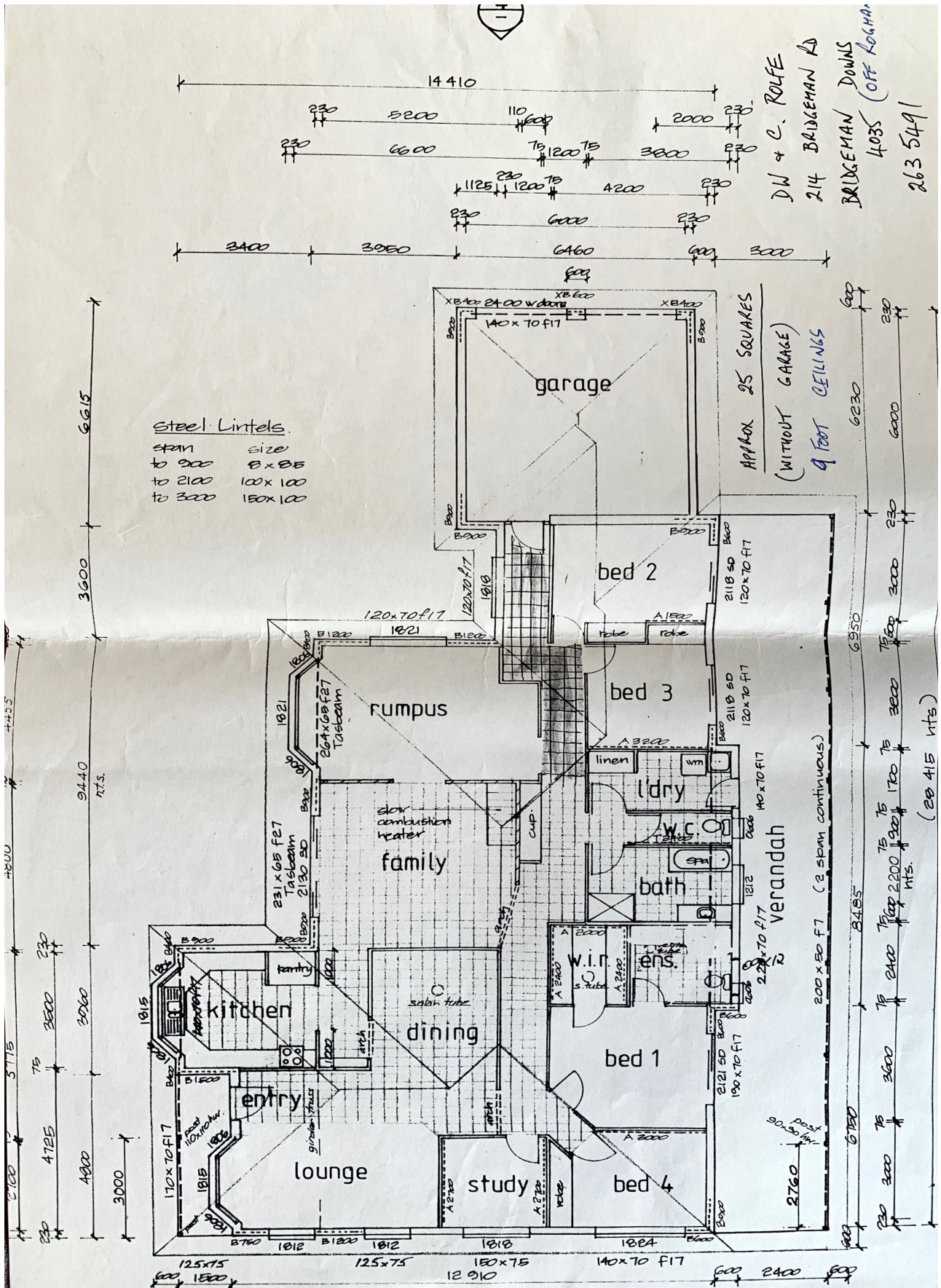
The plan outlines the requirement of demonstrating sufficient access to servicing including water support, sewerage, stormwater, transports and community purpose prior to undertaking development.

The subject property is located within close proximity to currently under construction estates within Bridgeman Downs.



*Approximately

FLOOR PLAN



LOCATION OVERVIEW

Bridgeman Downs is located approximately 15 kilometres north of the Brisbane CBD, and is a highly sought after residential locality, undergoing significant urban development.

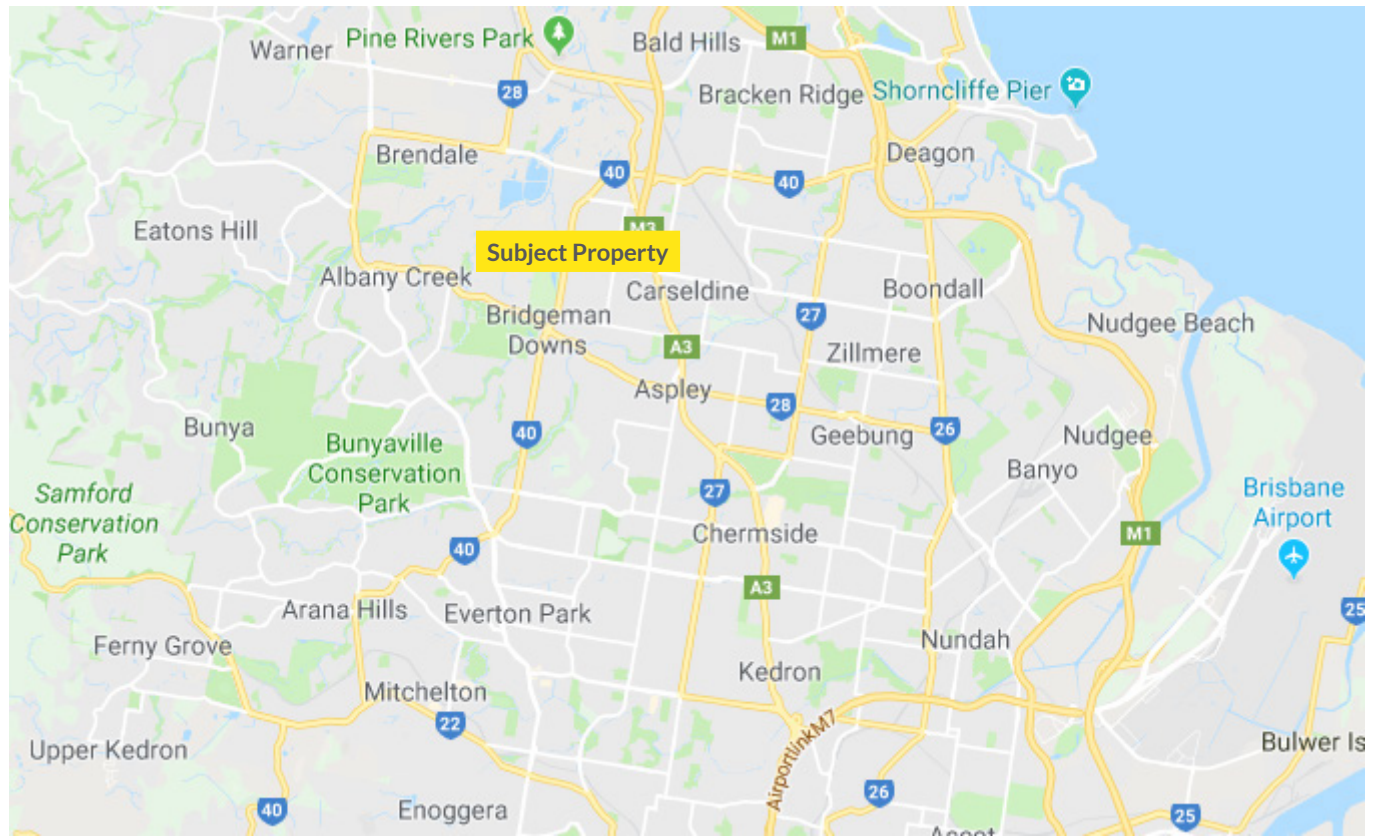
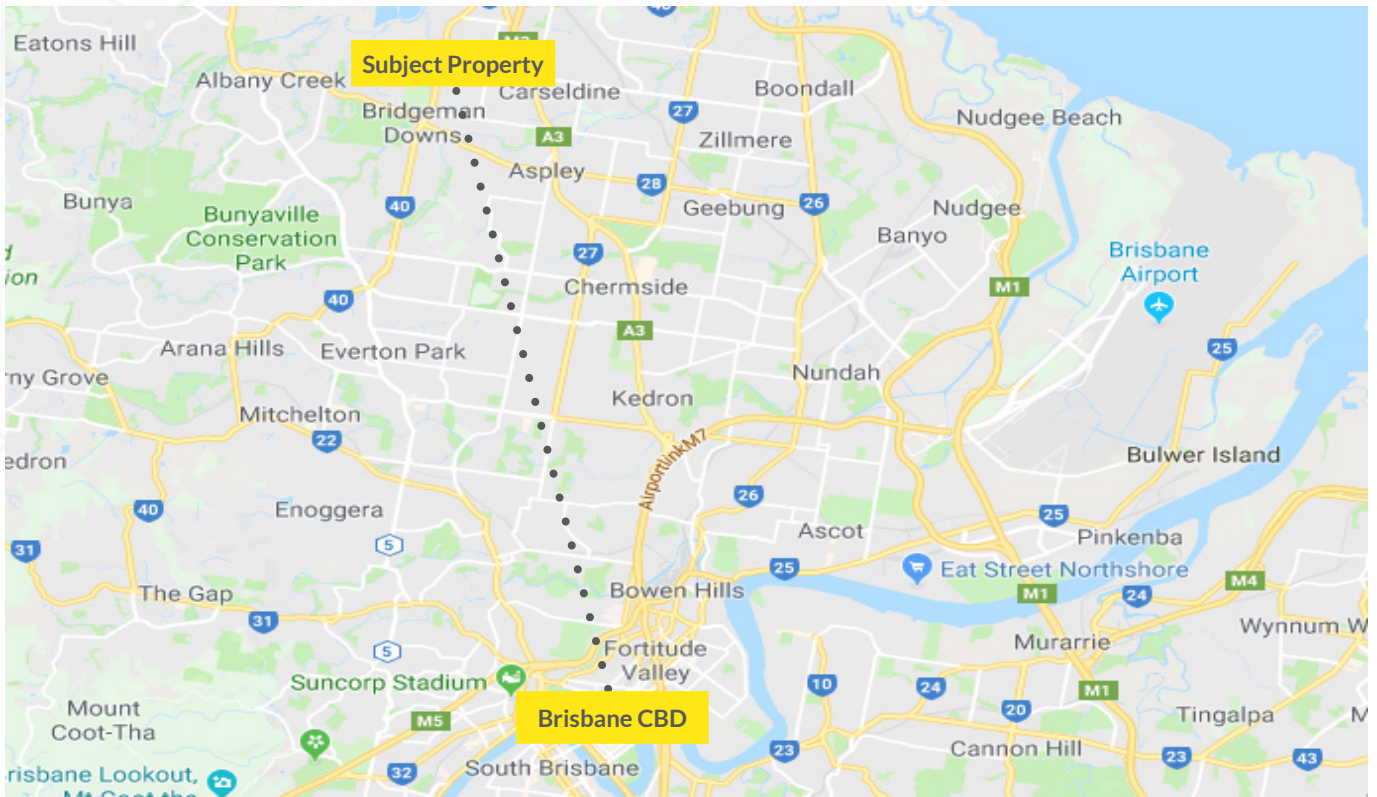
Surrounding development within the immediate locality comprises:

- Acreage style, high quality housing
- Multiple Land estates to the north and south
- A short drive east of the site is the Woolworths anchored Careldine Village, which provides a wide range of retail amenity in addition to the super marketing including a Terry White Chemist, Dentist, Bottlemart, food retailers, bakery and multiple cafes
- Both the Aspley Hypermarket and Westfield Chermside Shopping Centre are situated within a short drive of the site
- The Prince Charles Hospital located within 6 kms*

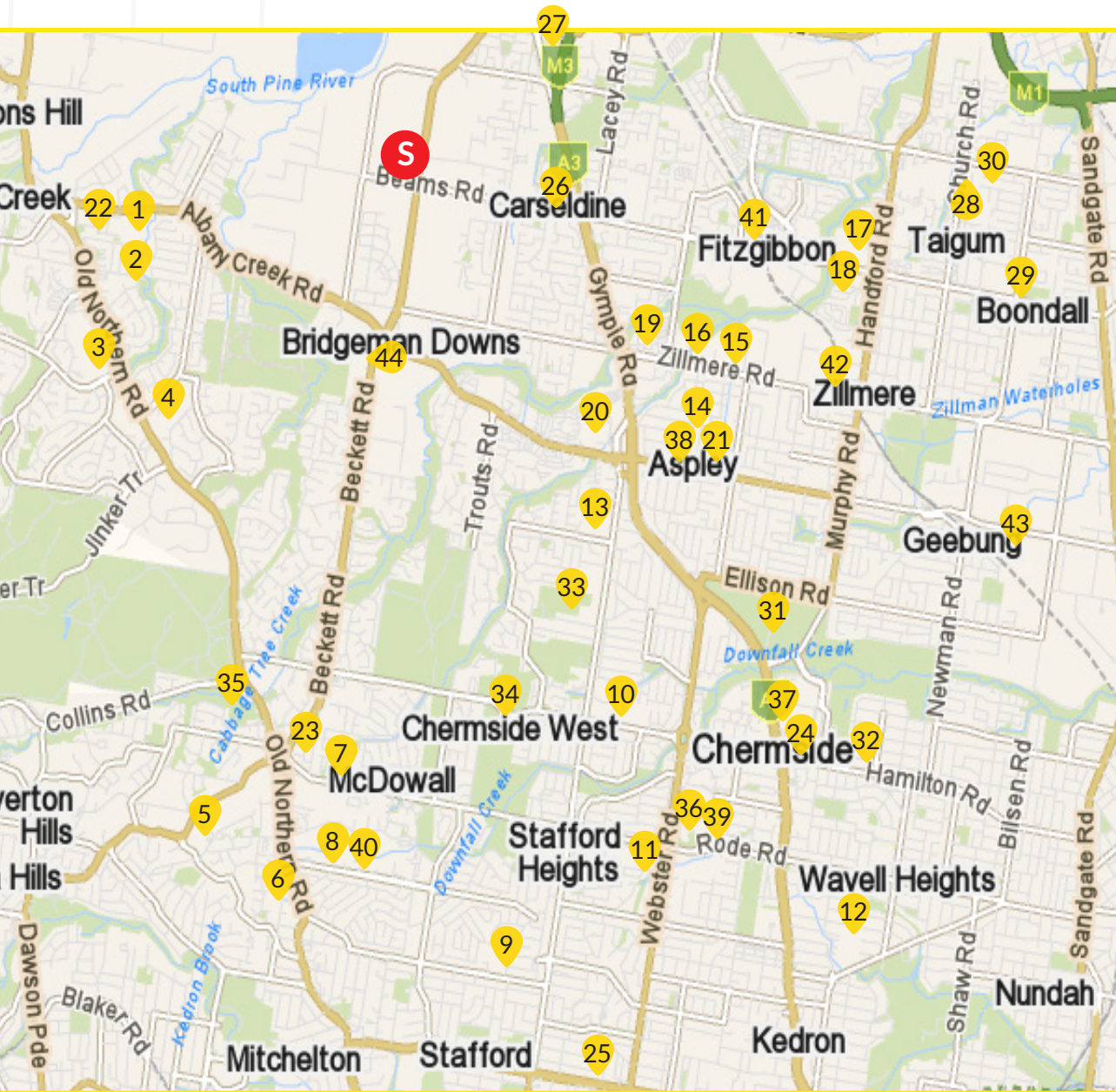
Local council bus services are located on Bridgeman Road, while Carseldine Train Station is located only a short drive away. The property has excellent access to Gympie Arterial Road and the M1.



LOCATION OVERVIEW



AMENITIES MAP



SCHOOLS:

1. Albany Creek State School
2. All Saints Parish School
3. Albany Creek State High School
4. Albany Hills State School
5. Prince of Peace Lutheran School
6. Everton Park State School
7. McDowall State School
8. Northside Christian College
9. Stafford Heights State School
10. Craigslea State School
11. Somerset Hills State School
12. Wavell State High School
13. Aspley State School
14. Aspley East State School
15. Aspley State High School
16. Aspley Special School
17. Taigum State Primary School
18. St Flannan's School

SHOPPING:

19. Aspley Homemaker City
20. Aspley Hypermarket Shopping Centre
21. Robinson Road Marketplace
22. Albany Market Place
23. McDowall Village
24. Westfield Chermside Shopping Centre
25. Bunnings Warehouse Stafford

26. Carlsbad Central Shopping Centre, Aldi and Bunnings

27. Carlsbad Homemaker Centre
28. ALDI Shopping Taigum
29. Taigum Square Shopping Centre
30. Taigum Village Shopping Centre

RECREATIONAL:

31. Merchant Park
32. 7th Brigade Habitat
33. The John Goss Reserve
34. Milne Hill Reserve
35. Sylvia Gibbs Park

MEDICAL & AGED CARE:

36. Prince Charles Hospital
37. Chermside Medical Centre
38. Aspley Medical Centre
39. Holy Spirit Northside Private Hospital
40. North West Private Hospital

TRANSPORT:

41. Carlsbad Railway Station
42. Zillmere Railway Station
43. Geebung Railway Station
44. Local Bus Stop

S Subject Property

DISCLAIMER

The information contained in this Information Memorandum and any other verbal or written information given in respect of the property ("Information") is provided to the recipient ("you") on the following conditions:

1. Eagle Street (Brisbane) Pty Ltd ABN 68 164 201 629 trading as Ray White Commercial (Queensland) or any of its officers, employees or consultants ("we, us") make no representation, warranty or guarantee, that the Information, whether or not in writing, is complete, accurate or balanced. Some information has been obtained from third parties and has not been independently verified. Accordingly, no warranty, representation or undertaking, whether express or implied, is made and no responsibility is accepted by us as to the accuracy of any part of this, or any further information supplied by or on our behalf, whether orally or in writing.
2. All visual images (including but not limited to plans, photographs, specifications, artist impressions) are indicative only and are subject to change. Any measurement noted is indicative and not to scale. All outlines on photographs are indicative only.
3. The Information does not constitute, and should not be considered as, a recommendation in relation to the purchase of the property or a solicitation or offer to sell the property or a contract of sale for the property.
4. You should satisfy yourself as to the accuracy and completeness of the Information through your own inspections, surveys, enquiries, and searches by your own independent consultants, and we recommend that you obtain independent legal, financial and taxation advice. This includes as to whether any listing price is inclusive or exclusive of GST.
5. We are not valuers and make no comment as to value. "Sold/ leased" designations show only that stock is "currently not available" – not that the property is contracted/ settled. If you require a valuation we recommend that you obtain advice from a registered valuer.
6. The Information does not and will not form part of any contract of sale for the property. If an interested party makes an offer or signs a contract for the property, the only information, representations and warranties upon which you will be entitled to rely will be as expressly set out in such a contract.
7. Interested parties will be responsible for meeting their own costs of participating in the sale process for the property. We will not be liable to compensate any intending purchasers for any costs or expenses incurred in reviewing, investigating or analysing any Information.
8. We will not be liable to you (to the full extent permitted by law) for any liabilities, costs or expenses incurred in connection with the Information or subsequent sale of the property whatsoever, whether the loss or damage arises in connection with any negligence, default or lack of care on our part.
9. No person is authorised to give information other than the Information in this Information Memorandum or in another brochure or document authorised by us. Any statement or representation by an officer, agent, supplier, customer, relative or employee of the vendor will not be binding on the vendor or us.
10. To the extent that any of the above paragraphs may be construed as being a contravention of any law of the State or the Commonwealth, such paragraphs should be read down, severed or both as the case may require and the remaining paragraphs shall continue to have full force and effect.
11. You may not discuss the Information or the proposed sale of the property with the vendors or with any agent, friend, associate or relative of the vendor or any other person connected with the vendor without our prior written consent. We accept no responsibility or liability to any other party who might use or rely upon this report in whole or part of its contents.
12. The Information must not be reproduced, transmitted or otherwise made available to any other person without our prior written consent.

SOURCES OF INFORMATION

PAGE	CONTENT	SOURCE
Page 3	Property Overview	RP Data, Brisbane City Council
Page 5	Town Planning Overview	Brisbane City Council
Page 7	Location Overview	Wikipedia, Google Maps, & Brisbane City Council
Page 8	Location Map	Google
Page 9	Amenities Map	Google Maps / Whereis.com
Annexure A	Aerial Photography	Skyepics
Annexure B	Offer to Purchase Form	Ray White
Annexure C	Title Search	Department of Natural Resources and Mines
Annexure D	Registered Plan	Department of Natural Resources and Mines
Annexure E	Smart Map	Department of Natural Resources and Mines
Annexure F	Dial Before You Dig Searches	NBN, Energex, Urban Utilities, APA, Brisbane City Council

ANNEXURE A

AERIAL PHOTOGRAPHY





Outline Indicative Only



Outline Indicative Only



Outline Indicative Only



Westfield Chermside

Prince Charles Hospital

Brisbane CBD

McDowall Village Shopping Centre

Aspley Hypermarket Shopping Centre

Carseldine Central Shopping Centre

Dawney Road

Brooker Road

Outline Indicative Only



ANNEXURE B

OFFER TO PURCHASE FORM



OFFER TO PURCHASE FORM

Offer to Purchase (OTP) Form / Particulars

Date

I / We register our Offer to Purchase to enter into negotiations to purchase the property located at 214 Bridgeman Road, Bridgeman Downs QLD 4035 ("the Property").

PROPERTY DETAILS

Address	214 Bridgeman Road, Bridgeman Downs QLD 4035
Real Property Description	Lot 1 on SP222229
Land Area	1.99ha
Local Authority:	Brisbane City Council

OFFER TO PURCHASE

Purchase Price:	\$
Proposed Deposit:	10% of the Purchase Price
Proposed Settlement Date:	
Further Details / Information: (Finance, Conditions etc.)	

DETAILS OF PROPOSED BUYER

Full Name(s):	
If Company	Name: ABN: Registered for GST: Yes or No (please circle one)
Contact Details	Address: Mobile: Email:

DETAILS OF PROPOSED BUYER'S SOLICITOR (IF KNOWN)

Firm:	
Name / Contact:	
Address:	
Contacts:	Telephone: Email:

OFFER TO PURCHASE FORM

PROPOSED BUYER ACKNOWLEDGEMENT

In submitting an Offer to Purchase to buy the subject property ("OTP"), the Proposed Buyer agrees to the following conditions:

1. The Proposed Buyer agrees to and accepts all disclaimers, limitations and qualifications in any written or verbal brochure, advertisement, representation, search, advice or information issued by the Vendors or Ray White or anyone on behalf of either of them ("Marketing Material").
2. The Proposed Buyer acknowledges that the Proposed Buyer has to satisfy itself about the characteristics, value, potential and features of the subject property by relying only on the Buyer's own enquiries and investigations and not on any Marketing Material. Therefore, neither the Vendors nor Ray White (or their respective employees and agents) will be liable if any Marketing Material is incorrect, incomplete or misleading.
3. The Proposed Buyer accepts and agrees to the terms of the Disclaimer in the Information Memorandum containing this OTP form.
4. The Proposed Buyer agrees that the Vendors will not be obliged to sell the subject property in response to this or any particular OTP.
5. The Vendors may sell the subject property to any person they choose, as a result of the OTP process or otherwise, or not at all. The Proposed Buyer cannot assume or expect that:
 - the Vendors will negotiate, or not negotiate, with the Proposed Buyer or any other respondent;
 - the Vendors will accept the highest purchase price offered;
 - the Vendors will consider any particular feature of an OTP or other proposal to buy the subject property as determinative; or
 - the submission of the Proposed Buyer's OTP will lead to any particular outcome.
6. No claim can be made against the Vendors or Ray White in relation to any costs or expenses incurred by a respondent in evaluating the subject property or submitting an OTP.
7. This OTP constitutes an Offer to Purchase by the Proposed Buyer to negotiate for the possible sale and purchase of the subject property.

EXECUTION:

Signed by the Proposed Buyer only.

Full Name/s:

Signature/s:

Date:

ANNEXURE C

TITLE SEARCH



CURRENT TITLE SEARCH
NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 32231264

Search Date: 30/09/2019 10:00

Title Reference: 50799549

Date Created: 01/02/2010

Previous Title: 14754108

REGISTERED OWNER

Dealing No: 713002335 19/01/2010

CECILIA ROLFE

ESTATE AND LAND

Estate in Fee Simple

LOT 1 SURVEY PLAN 222229
Local Government: BRISBANE CITY

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10222164 (POR 132)
2. EASEMENT IN GROSS No 713023724 29/01/2010 at 10:30
burdening the land
BRISBANE CITY COUNCIL
over
EASEMENT F ON SP222229

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
713192286	VEG NOTICE	22/04/2010 11:12	CURRENT

VEGETATION MANAGEMENT ACT 1999

UNREGISTERED DEALINGS - NIL

CERTIFICATE OF TITLE ISSUED - No

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2019]
Requested By: D-ENQ GLOBAL X

ANNEXURE D

REGISTERED PLAN



Land Title Act 1994 ; Land Act 1994
Form 21 Version 2

SURVEY PLAN

Sheet **1** of **1**

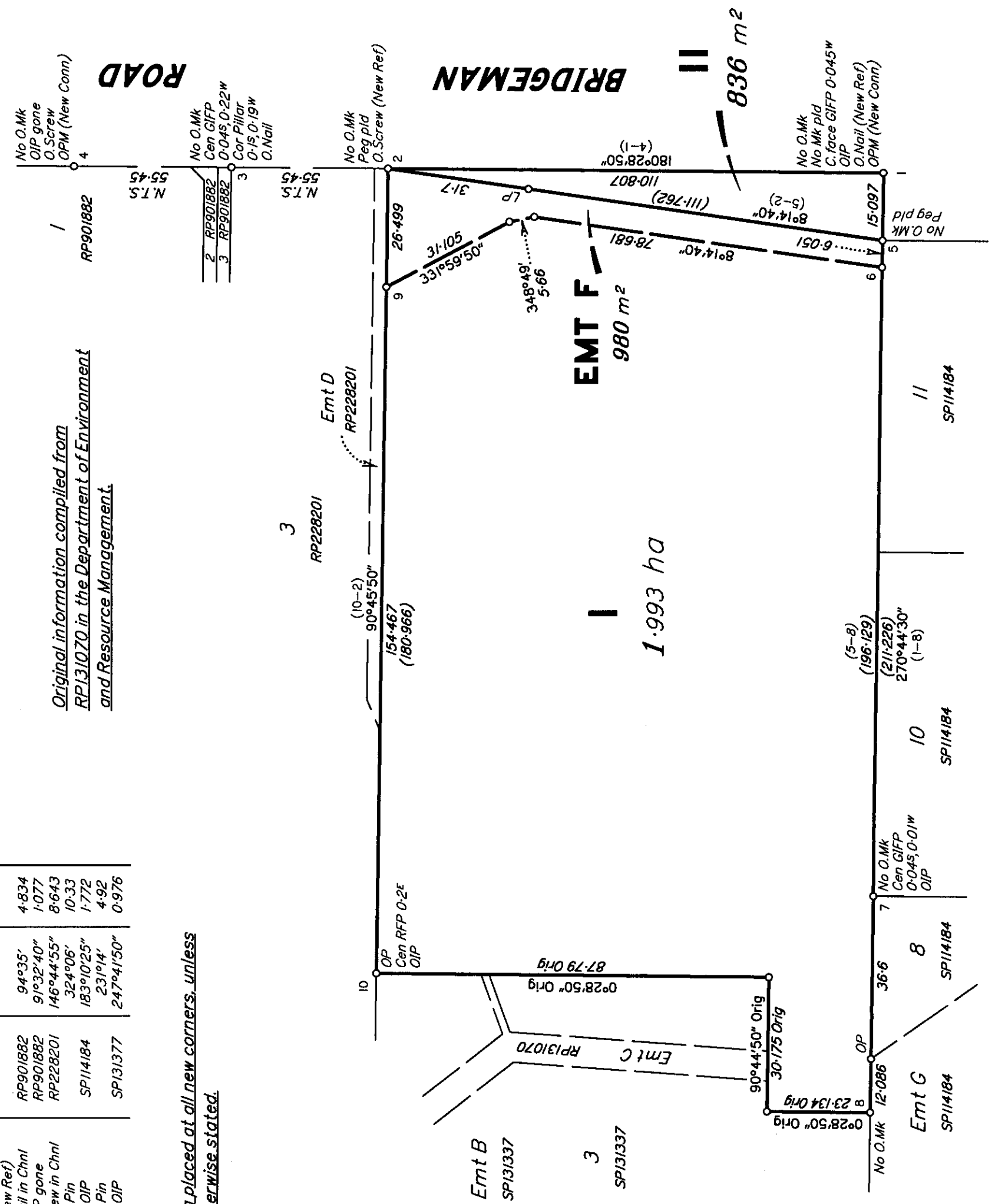


PM	ORIGIN	BEARING	DIST	NO	TYPE
1-OPM (New Conn)	SP114184	209°47'25"	280.55	123588	Standard
4-OPM (New Conn)	SP111840	2°41'40"	434.09	69425	Standard

*Original information compiled from
RP131070 in the Department of Environment
and Resource Management.*

STN	TO	ORIGIN	BEARING	DIST
1	OIP	RP131070	83°42'20"	1.006
1	O.Nail in Bit (New Ref)	SP108687	84°37'	12.373
2	O.Screw in Chnl (New Ref)	RP901882	90°07'	4.812
3	O.Nail in Chnl (New Ref)	RP901882	94°35'	4.834
4	OIP gone	RP901882	91°32'40"	1.077
4	O.Screw in Chnl	RP228201	146°44'55"	8.643
6	Pin	SP114184	324°06'	10.33
7	OIP	SP114184	183°10'25"	1.772
9	Pin	SP131377	231°14'	4.92
10	OIP	SP131377	247°41'50"	0.976

Reg. placed at all new corners, unless otherwise stated.



SAUNDVILL PTY LTD (ACN 009 947 880) hereby certify that the land comprised in this plan was surveyed by the corporation, by Brian Anthony EAGERS, cadastral surveyor, for whose work the corporation accepts responsibility, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 01/05/2009

SAUNDVILL PTY. LTD. A.C.N. 009 947 880
The **Common Seal** of **SAUNDVILL PTY. LTD.**
Director: *[Signature]*
Authorized Signatory: *[Signature]*
Date: **5.5.09**

**Plan of Lots 1 & 11
& Easement F in Lot 1**


Cancelling Lot 1 on RP131070

PARISH: **NUNDAH** COUNTY: **Stanley**

Meridian: **SP114184** F/N's: **No**

Scale: **1:1000**

Format: **STANDARD**


SP222229

Plan Status:

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

713002335

\$424.90
19/01/2010 10:23

BE 400 NT

Registered

5. Lodged by

259A

**Brisbane City Council
G.P.O. Box 1434
Brisbane QLD 4000**

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

I/We

.....

.....

.....

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

**AS CONSTRUCTING AUTHORITY UNDER
THE ACQUISITION OF LAND ACT 1967
BRISBANE CITY COUNCIL AGREES TO
THIS PLAN OF SUBDIVISION**

The Seal of BRISBANE CITY COUNCIL was hereunto affixed this 17th day of December 2009 by me JANINE ELIZABETH BOYD being the proper officer to affix such seal. *J.E. Boyd*
J.E. BOYD
Appointed Officer

Leslie Howard Acworth
**LESLIE HOWARD ACWORTH
J.P. (C.DEC.) QLD**

* Rule out whichever is inapplicable

2. Local Government Approval.

*
hereby approves this plan in accordance with the :
%

Dated this day of

..... #
..... #

* Insert the name of the Local Government. % Insert Integrated Planning Act 1997 or # Insert designation of signatory or delegation Local Government (Planning & Environment) Act 1990

3. Plans with Community Management Statement :
CMS Number :
Name :

4. References :
Dept File :
Local Govt :
Surveyor : 5248

6. Existing		Created				
Title Reference	Description	New Lots	Road	Emts	Cov.	Profit a prendre
14754108	Lot 1 on RP131070	I & II	---	F	---	---

NIRs 712286170 & 712286281 satisfied by this plan

I & II	Por I32
Lots	Orig

7. Portion Allocation :

8. Map Reference :
9443-21212

9. Locality :
Bridgeman Downs

10. Local Government :
BRISBANE CITY COUNCIL

11. Passed & Endorsed :
By : Saundvill Pty Ltd
Date : 15.5.2009
Signed : *Reynoldson*
Designation : Cadastral Surveyor/Director

12. Building Format Plans only.
I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining * lots and road

Cadastral Surveyor/Director* Date
*delete words not required

13. Lodgement Fees :

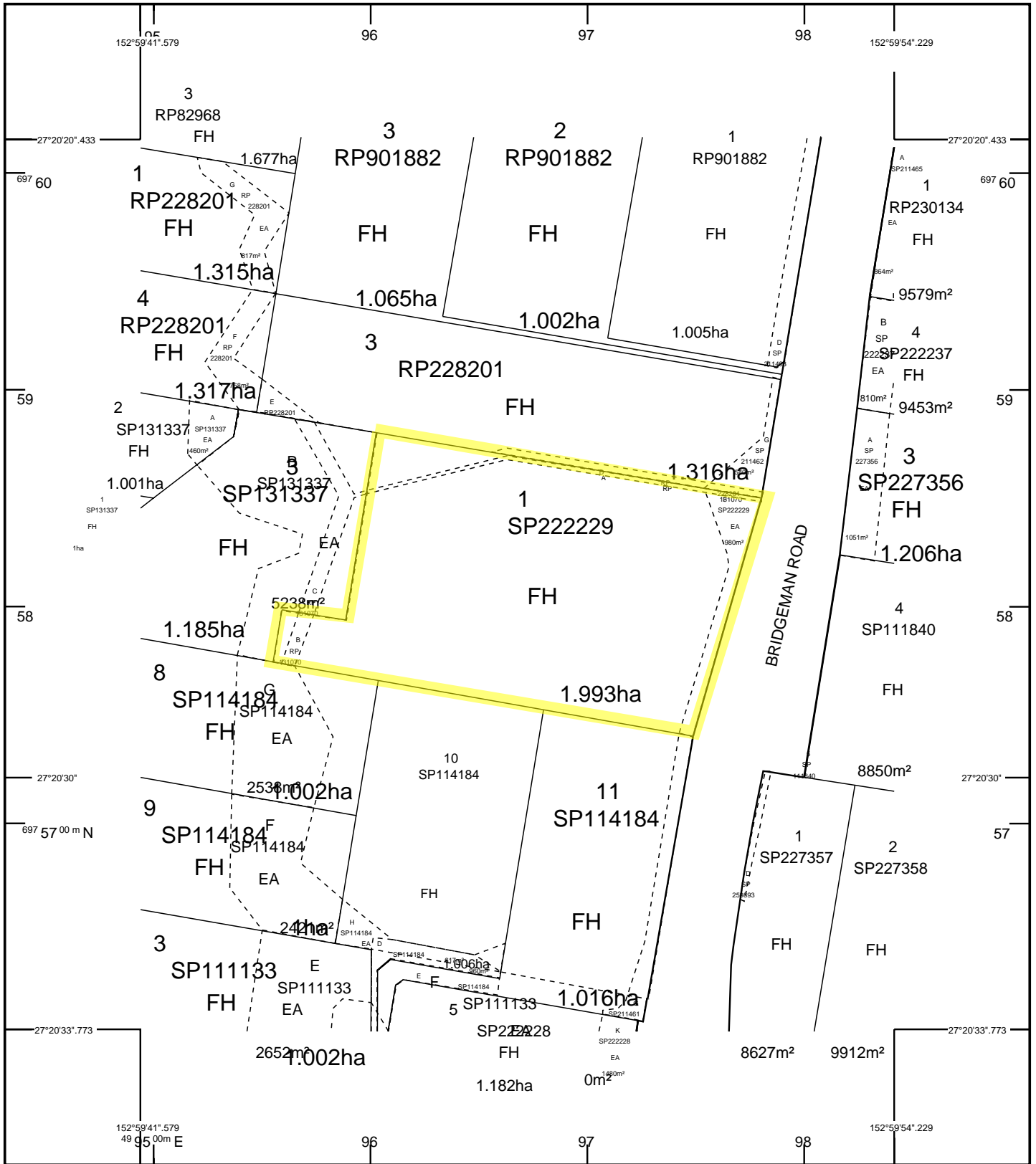
Survey Deposit	\$
Lodgement	\$
..... New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

14. Insert Plan Number
SP222229

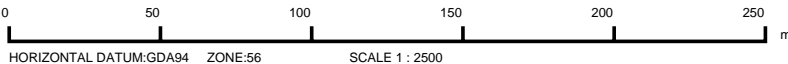
ANNEXURE E

SMART MAP

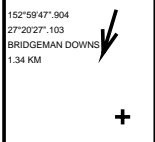




STANDARD MAP NUMBER
9443-21212



MAP WINDOW POSITION & NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	1/SP222229
Lot/Plan	1.993ha
Area/Volume	FREEHOLD
Tenure	BRISBANE CITY
Local Government	BRIDGEMAN DOWNS
Locality	26172/132
Segment/Parcel	

CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy) 30/09/2019

DCDB 27/09/2019

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

Despite Department of Natural Resources, Mines and Energy (DNRME)'s best efforts, DNRME makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information

For further information on SmartMap products visit <http://nrw.qld.gov.au/property/mapping/blinmap>

SmartMap

An External Product of SmartMap Information Services

Based upon an extraction from the Digital Cadastral Data Base



Queensland Government

(c) The State of Queensland, (Department of Natural Resources, Mines and Energy) 2019.



ANNEXURE F

DIAL BEFORE YOU DIG SEARCHES



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGETX EnerGISE DBYD map, then ENERGETX shall be contacted immediately.

For Emergency Situations
Please call 13 19 62



**EnerGISE
DBYD**


Date: 30 Aug 19 Time: 08.27.40
Requested By: DBYD

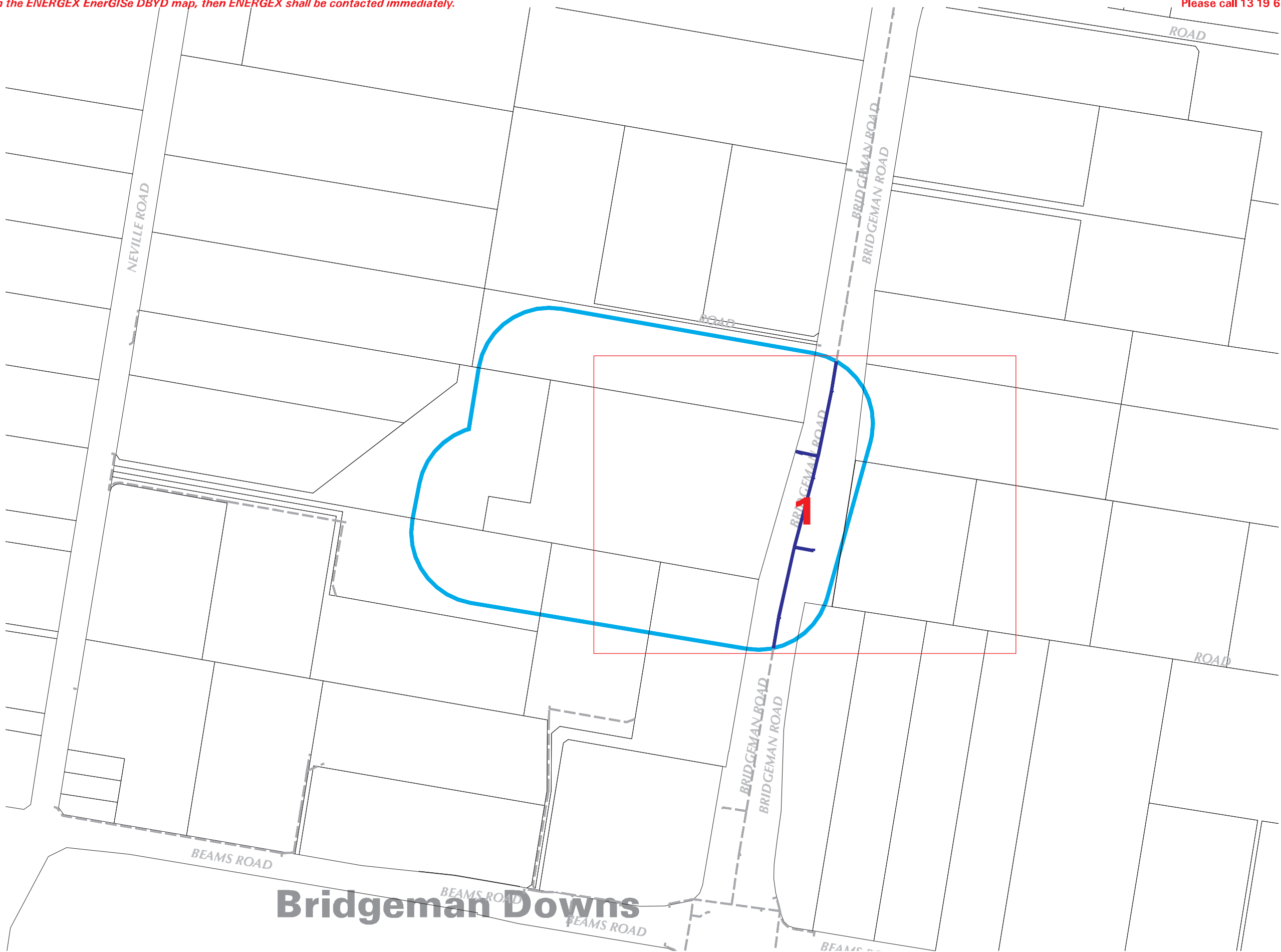
NOT TO SCALE



Enquiry No: 88464423

KEY MAP

 Enquiry Area



Bridgeman Downs

LOCALITY DIAGRAM



This output provides details of the ENERGETX electrical network. As variations may exist no responsibility is incurred by ENERGETX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

UNCONTROLLED COPY

All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX EnerGISE DBYD map, then ENERGEX shall be contacted immediately.

For Emergency Situations
Please call 13 19 62



**EnerGISE
DBYD**

Date: 30 Aug 19 Time: 08.27.52
Requested By: DBYD

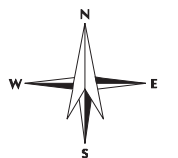
SCALE 1:1000



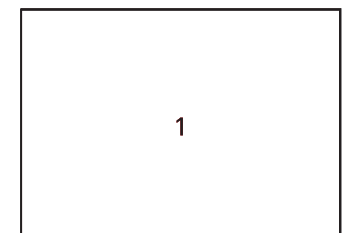
Enquiry No: 88464423

STRIP No: 1

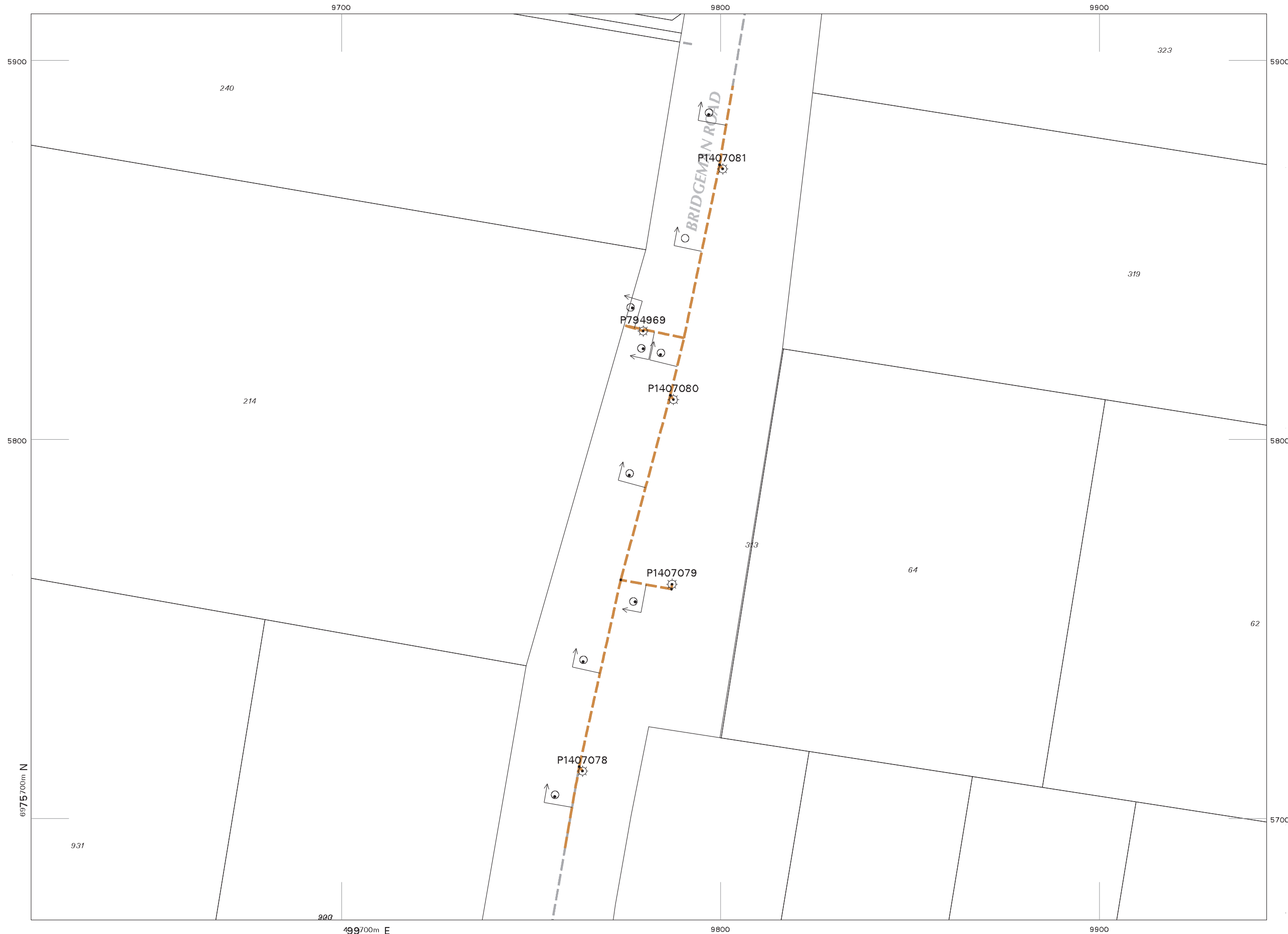
- Ground Transformer
- Cubicle Transformer
- Ring Main Unit
- Metering Unit
- Link Pillar
- Service Pillar
- Junction Pillar
- Pit
- Cable Joint
- Cable Termination
- Cable Marker
- Street Light Pole
- Earth
- Planned Work labelled by Work Order
- Cable Voltage Less Than 33kV
- Cable Voltage 33kV or Higher
- Direct-Lay Cable
- Conduit
- Multi-Section Duct
- Trench
- Cable Tray
- Tunnel



INDEX TO SHEETS



LOCALITY DIAGRAM



This output provides details of the ENERGEX electrical network. As variations may exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

UNCONTROLLED COPY



APA Group
PO Box 6014 Halifax Street
South Australia 5000

30/08/2019

Company: Ray White
Mr Ray White
Level 26 111 Eagle Street
Brisbane
QLD 4000

specialprojects.qld@raywhite.com

Dear Mr Ray White

Sequence Number: 88464425
Worksite Address: 214 Bridgeman Road
Bridgeman Downs
QLD 4035

RE: REQUEST FOR APA GROUP (APA) UNDERGROUND DIAL BEFORE YOU DIG

Dear Sir/Madam

In response to the above enquiry we wish to confirm that APA **operates underground plant** (Mains and / or Services) at or in the vicinity of the above address.

Please check that the following map represents the area you requested - if the area is not correct please contact our Dial Before You Dig Officer - 1800 085 628. If works are proposed adjacent to any underground plant operated by APA please ensure compliance with the attached "DUTY OF CARE"

Please find enclosed the following information in support of the above: -

1. A location map of the **suburb** the service is in and an A4 location map showing the **status** of APA underground plant (Mains and / or Services) adjacent to the subject site
2. DUTY OF CARE statement which forms **an integral part** of any information supplied by APA

FOR GAS EMERGENCIES 24 HOURS - 1800 GAS LEAK (1800 427 532)

Please note that as work on APA underground plant is ongoing any information supplied on their status can only be considered current for **30 days from the date of this response**. Expired locations, i.e., over 30 days from the date of this response, require a new Dial Before You Dig request to validate location information.

Should you have any questions with **regards to the attached information** please contact our Dial Before You Dig officer - 1800 085 628.

For any excavation works, including vacuum excavations, an "Authority to Work" Permit may be required and a Site Watch may need to be scheduled.

A minimum of 5 business days notice is required to process permit applications. Permit applications can be made by: -

Post: Permit Applications QLD, PO Box 885 Hamilton Central QLD 4007 or

Email: permitsqld@apa.com.au or Phone: (07) 3215 6700 though an application will most likely be required

Charges may apply for Site Watch requests. Your sequence number may be requested when making your booking, please have this available when you request either a mains location or site watch.



operated by



For other enquiries please contact your gas retailer

To find out who your retailer is call 1800 657 567

Warning: if there are high or transmission pressure gas mains present in the vicinity of your area of interest, an APA employee must be in attendance during any excavation within 3 metres of high or transmission pressure mains, and an "Authority to Work" permit must be issued prior to work commencing.

Please contact us for a permit to work request if you believe your work is within this zone, by completing the "Authority to Work" request form attached and sending to APA. 5 days notice is required prior to the commencement of any excavation to assess and allocate resources. Contact phone numbers are shown at the end of the notice of location.

Please Note: For some DBYD enquiries, you might receive 2 responses from the APA Group. Please read both responses carefully as they will relate to different assets. It is your responsibility to action all requirements set out in APA Group responses.

Please take some time to review the entire response document and check the information supplied and please let us have any feedback by sending an email to DBYDNetworksAPA@apa.com.au or contacting us direct on 1800 085 628.

Yours faithfully

Dial Before You Dig Officer
APA Group

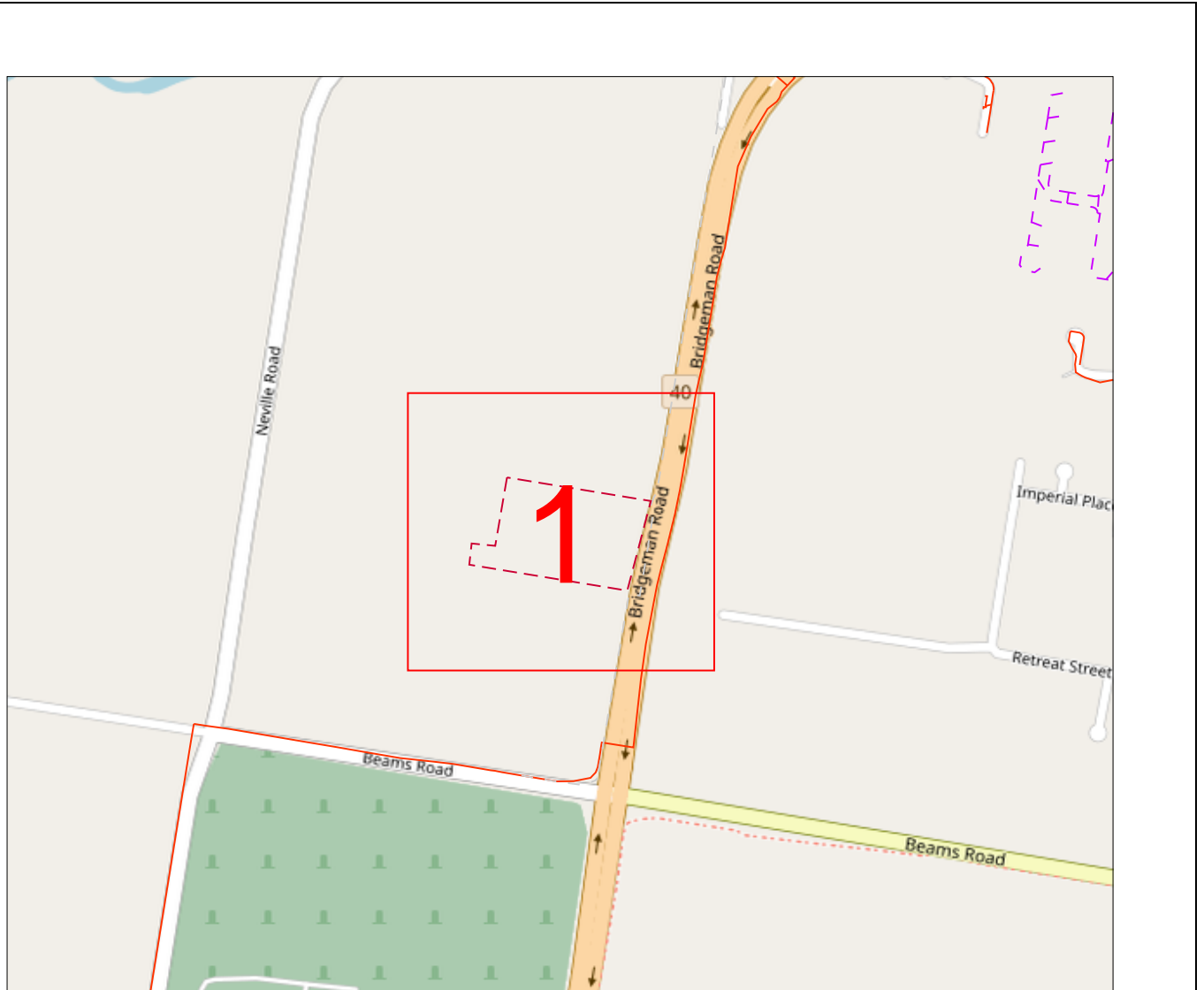
Email DBYDNetworksAPA@apa.com.au
Ph. 1800 085 628

30/08/2019

SCALE: DO NOT SCALE

REF NO: 88464425

As work on APA underground plant is ongoing any drawing with an issue date of more than one month previous can no longer be considered valid. All persons planning civil works on any site are advised to contact APA to confirm location. All underground gas pipelines are the property of APA & are not to be accessed by unauthorised persons. All care is taken with preparation of the drawings & no responsibility is accepted for errors or omissions.



88464425

Scale: 1: 6000

0 0.08km



Data Source

Pipeline Data Copyright APA Group, Property Parcels Copyright QLD Government, UBD Imagery – Copyright Sensis, DBYD Dig Location provided by DBYD.

operated by



This maps is created in colour and shall be printed in colour.

Legend

Distribution Main

- Class 900 Transmission
- Class 600 Transmission
- Class 300 Transmission
- High Pressure Steel
- High Pressure PE Trunk
- High Pressure/ Class 500
- Medium Pressure PE/ Nylon ⁽¹⁾
- Medium Pressure (Allgas)
- Low Pressure
- LPG
- TLP
- Proposed/ Under Construction
- Idle Gas Pipe
- Abandoned Gas Pipe
- Sleeve

(1) Medium Pressure in AGN/ Nylon in Allgas

Gas Assets and Fittings

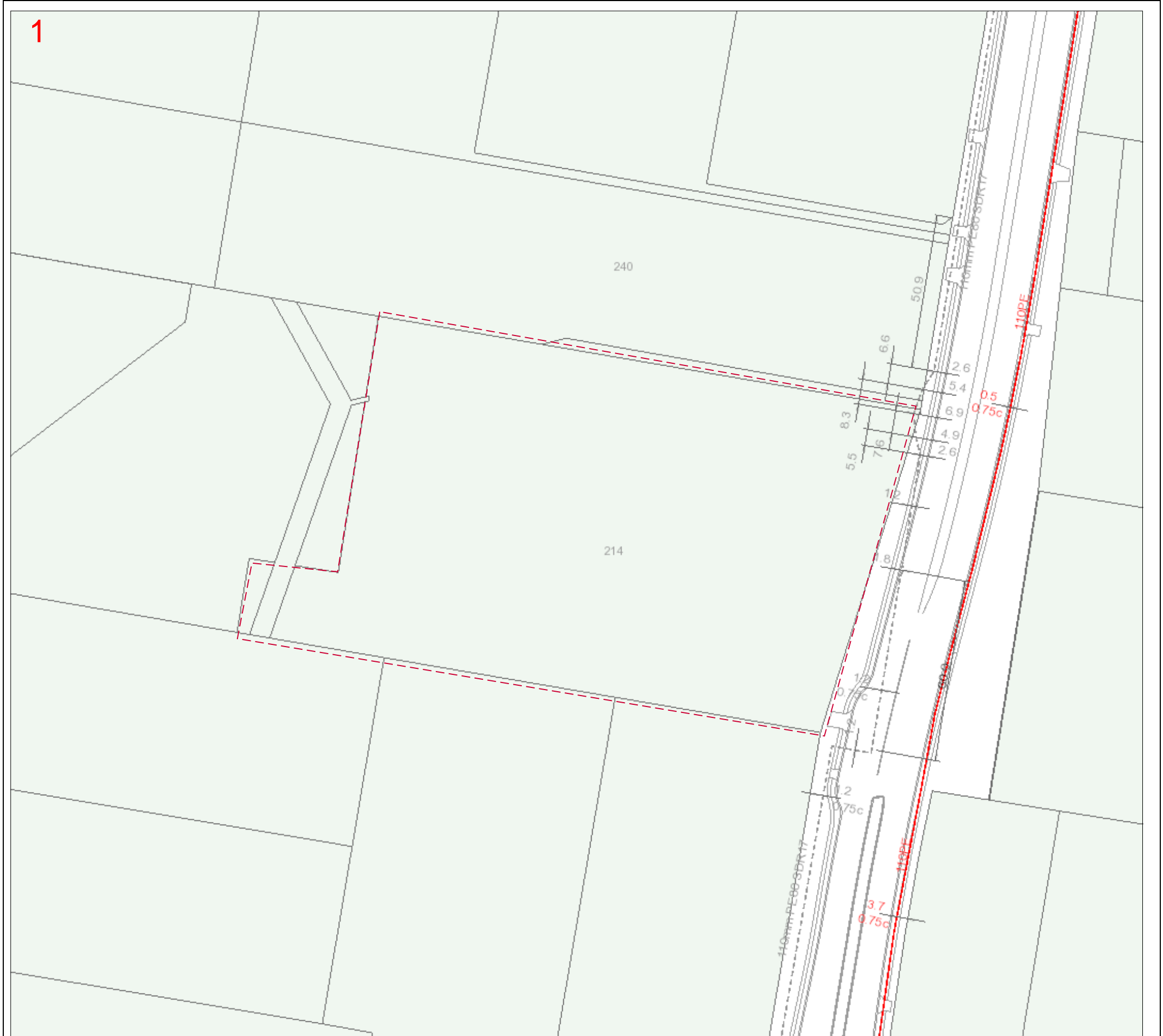
- Gate Station
- Regulator Station
- Block/ Emergency Valve
- Isolation Valve
- Test Point
- Syphon
- Anode
- Pipeline Marker
- Trace Wire Point
- Reducer
- Pipe Connector/ Tee
- Pipe Connector
- End Cap

Pipe Materials

- Cast Iron
- Copper
- Wrought Galvanised Iron
- Poly Coated Wrought Galvanised Iron
- Steel
- Nylon
- Polyethylene
- Medium Density Polyethylene
- High Density Polyethylene
- Nominal Diameter
- Outside Diameter

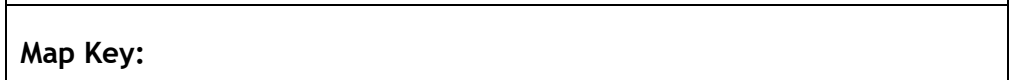
Examples: 40PE in DN80 CI 40mm Polyethylene in an 80mm (Nominal Diameter) Cast Iron Sleeve
63PE INS 63mm Polyethylene inserted in another pipe

Line/ Polygon Request



88464425 Map Sheet: 1

Scale: 1: 1000
0 0.01km



Map Key:

1

Legend

Distribution Main	Gas Assets and Fittings	Pipe Materials
Class 900 Transmission	Gate Station	CI Cast Iron
Class 600 Transmission	Regulator Station	CU Copper
Class 300 Transmission	Block/ Emergency Valve	GAL Wrought Galvanised Iron
High Pressure Steel	Isolation Valve	PGAL Poly Coated Wrought Galvanised Iron
High Pressure PE Trunk	Test Point	ST Steel
High Pressure/ Class 500	Syphon	NY/ NY11 Nylon
Medium Pressure PE/ Nylon	Anode	PE Polyethylene
Medium Pressure (Allgas)	Pipeline Marker	MDPE Medium Density Polyethylene
Low Pressure	Trace Wire Point	HDPE High Density Polyethylene
LPG	Reducer	DN Nominal Diameter
TLP	Pipe Connector/ Tee	OD Outside Diameter
Proposed/ Under Construction	Pipe Connector	
Idle Gas Pipe	End Cap	
Abandoned Gas Pipe		
Sleeve		

Examples: 40PE in DN80 CI 40mm Polyethylene in an 80mm (Nominal Diameter) Cast Iron Sleeve
63PE INS 63mm Polyethylene inserted in another pipe

Line/ Polygon Request

Data Source
Pipeline Data Copyright APA Group, Property Parcels Copyright QLD Government, UBD Imagery - Copyright Sensis, DBYD Dig Location provided by DBYD.

This maps is created in colour and shall be printed in colour

APA Group does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. APA Group is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this map

Working Around Gas Assets: Duty of Care and Responsibilities

It is illegal to interfere or tamper with gas infrastructure.

Offenders who interfere or tamper with gas infrastructure may be prosecuted under relevant legislation and there are very serious penalties for such offences

"Gas infrastructure" or "infrastructure" in this document refers to any infrastructure or property owned or operated by APA Group including, but not limited to natural gas mains, services and regulator/meter stations or regulator pits.

1. Planning Your Work

- a. The constructor must:
 - i. Request plans of APA Group infrastructure for a particular location at a reasonable time before construction begins (at least 5 business days);
 - ii. Design for minimal impact and ensure protection of APA Group infrastructure, this includes networks managed by APA on behalf of Australian Gas Networks and Allgas; and
 - iii. Contact APA Group if their infrastructure is in any way affected by planned construction activities.

2. Before You Start Work

- a. Please Note: **You will be responsible to pay for the repair of any damage by you to gas assets.**
- b. You must obtain **Dial Before You Dig (DBYD)** documentation before any on-site construction or excavation commences. This document is to be read in conjunction with the Dial Before You Dig plans and other relevant documentation.
APA Group will provide free site plans if an APA Group infrastructure location request is made to APA on **1800 085 628**
- c. If DBYD documents indicate you will be working within 3m of a high pressure or transmission gas pipeline, you must complete and submit the **Authority to Work Request** provided with your DBYD documentation **five (5) business days** prior to commencing the work. Requests **under** five (5) business days will incur extra charges.
- d. APA Group shall assess your Authority to Work Request and will inform you if a Site Watch is required. A Site Watch involves the presence of an APA representative at site to advise on locating and working around the asset. Where on-site location advice is provided, the constructor is responsible for all hand digging (potholing) to visually locate and expose APA Group infrastructure. Vacuum excavations may only be used if permission is granted by APA and if it is used on high pressure mains Site Watch will be required. **Site Watch services are charged at an hourly rate.**
- e. The principal contractor for the site must provide APA Group with a written construction methodology for all works impacting or encroaching on APA infrastructure. All construction methodology documents will be reviewed by APA Group prior to the commencement of site works. Construction methodology documents must be submitted as part of an Authority to Work Request (send to permitsqld@apa.com.au).
- f. Site Plans
 - i. Plans and/or details provided by APA Group through DBYD or otherwise are current for one (1) month from the date of dispatch and should be disposed of by shredding or any other secure disposal method after use.
 - ii. APA Group retains copyright in all plans and details provided in connection with any request.
 - iii. APA Group plans or other details are provided for the use of the applicant, its servants, employees, contractors and agents, and must not be used for any unauthorised purpose.
 - iv. APA Group plans are pipe indication diagrams only and indicate the presence of plant in the general vicinity of the geographical area shown. Exact ground cover and alignments cannot be given with any certainty as such levels can change over time.
 - v. APA Group, its servants, employees, or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and/or details so supplied to the applicant/constructor, its servants, employees, contractors and/or agents, and the applicant/constructor agrees to indemnify APA Group against any claim or demand for any such loss or damage.
 - vi. The constructor is responsible for all infrastructure damage occasioned to APA Group infrastructure.
 - vii. APA Group reserves all rights to recover compensation for loss or damage caused by interference or damage, including consequential loss and damages to its property and gas infrastructure.
 - viii. All care is taken in the preparation of location drawings and plans, but NO responsibility is accepted by APA Group for errors or omissions.

3. Working in the Vicinity of a Gas Pipeline

a. **Excavation** near Gas Mains and Services

PLEASE NOTE: Unless otherwise approved, mechanical excavation is not permitted above, or within 600mm of either side of APA Group infrastructure.

i. **Location of Gas Mains and Services:** Examining the DBYD documentation and other plans is not sufficient as reference points may change from the time of installation and recording on documentation. You MUST use appropriately qualified plant locators to accurately locate and prove the position of all assets and then validate these positions prior to commencing work. For all work to be done within 3.0 metres of APA Group infrastructure, the constructor is required to hand dig (pothole) and expose the plant, hence proving its exact location before work can commence. Vacuum excavation can cause failure of some types of gas mains and therefore APA Group must be contacted prior to any vacuum excavation.

Please note that new APA Group gas mains generally have a plastic warning tape or lightweight plastic board buried above the pipe but this is not the case for older mains or when pipe is laid by means of boring or located in conduit.

ii. **IMPORTANT NOTE: Not all gas services (i.e. pipe from gas main to a gas meter in an individual property) are captured on APA Plans. Gas services shown on plans are indicative only and do not pinpoint the exact location of APA's asset. A gas service may also cross a road to reach a property. To confirm the presence of a gas service, please contact the APA DBYD number below for further information.**

iii. **Installation of Utilities Parallel to Gas Mains and Services:** If construction work is being undertaken parallel to APA Group gas mains, then hand digging (potholing) at least every 4 m is required to establish the location of all gas mains. Nominal locations must be confirmed before work can commence. A minimum clearance of 600mm must be maintained from gas mains unless otherwise approved by APA. If an excavation exceeds the depth of the gas mains and it is likely that the covers or bedding material around the pipes will move, approval must be sought from APA Group's Capital Works team.

iv. **Installation of Utilities Across Gas Mains and Services:** A minimum clearance of 300mm above and below and APA Group gas mains must be maintained unless otherwise approved by APA. If the width or depth of the excavation is such that the gas mains will be exposed or unsupported, then APA Group must be contacted to determine whether the gas mains should be taken out of service, or whether they need to be protected or supported. Protective cover strips when removed must be replaced under APA Group supervision.

v. **Exposed Gas mains and Services:** Exposure of APA infrastructure shall be limited to potholing for location purposes. Any other exposure of pipe is not permitted unless expressly approved by APA Group. Exposed gas pipes must be protected by the constructor against the effects of heat by shielding or covering with a suitable material. Heating of exposed plastic pipes is dangerous. If depth of cover is compromised in any way due to works, please contact APA immediately.

vi. **Heavy machinery Operation over Gas Mains and Services:** Where heavy "Crawler" or "Vibration" type machinery is operated over the top of gas mains, a minimum cover of 750mm to the gas mains must be maintained using load bearing protection whilst the machinery is in operation.

vii. **Directional Drilling Near Gas Mains and Services:** When drilling parallel to gas mains, trial holes must be carefully hand dug at least every 4m to prove the actual location of the conduits/pipes before using drilling machinery. Where it is required to drill across the line of gas mains, the actual location of the gas mains must first be proven by the constructor by hand digging. A trench must be excavated one metre from the side of the gas mains where the auger will approach to ensure a minimum clearance of 600mm for gas mains can be maintained unless otherwise approved by APA.

viii. **Explosives:** Clearances must be obtained from APA Group's Networks Engineering Manager for use of explosives in the vicinity of gas mains. Please contact the APA Group.

b. **Damage Reporting:** All damage to conduits and pipes and any other gas infrastructure and property must be reported to APA Group no matter how insignificant the damage appears to be. Even very minor damage to protective coverings can lead to eventual failure through corrosion. All work in the vicinity of damaged infrastructure should cease and the area should be vacated until a clearance to continue work has been obtained from an APA Group officer. Please contact the Emergency number below to report damage.

c. **Solutions and Assistance:** If it is determined that APA Group infrastructure is likely to be impacted or encroached upon by planned construction, APA Group must be contacted to arrange for possible engineering solutions. If APA Group relocation or protection works are part of the agreed solution, then payment to APA Group for the cost of this work will be the responsibility of the principal contractor. APA Group will provide an estimated quotation for work on receipt of the order number before work will proceed.

d. **Reinstatement:** APA assets affected by third party works as highlighted above are to be reinstated as per APA requirements, potentially including but not limited to; warning tape/marker board, soft bedding/backfill materials, trench dimensions, depth of cover, trace wire for PE mains, compaction requirements, concrete protection, and surface re-instatement.

4. Contacting APA

<p>GAS EMERGENCIES 24 HRS 1800 GAS LEAK (1800 427 532)</p>	<p>GAS PLANT RELOCATIONS APA CAPITAL WORKS PH: 07 3215 6709 FAX: 07 3215 6699 capitalworksqldnetworks@apa.com.au</p>	<p>APA GROUP GAS ASSET LOCATIONS TEAM (PERMITS OFFICE) PH: 07 3215 6700 FAX: 07 3215 6699 permitsqld@apa.com.au</p>	<p>DIAL BEFORE YOU DIG SUPPORT PH: 1800 085 628</p>
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operated by



HIGH PRESSURE GAS DISTRIBUTION MAINS "AUTHORITY TO WORK" REQUEST

N.B. THIS IS NOT A PERMIT TO WORK

SITE ADDRESS:

SUBURB:UBD MAP REF:.....

DBYD Sequence Number:..... Date of DBYD Enquiry.....

(Note: Only valid enquiries will be accepted and the currency of DBYD requests will affect your permit period. APA Group's DBYD requests are valid for one month only. Enquiries may need to be renewed and a new application may be required)

COMMENTS:.....

BROAD DESCRIPTION OF WORK (please provide any approvals from APA Group related to these works)

WORK TO BE CARRIED OUT:

- Class 1. Location
 - Works crossing a high pressure gas mains
- Class 2. Location
 - Works within 3 metres of a high pressure gas mains
- Class 3. Location
 - Works involving large excavations that would cause ground movement, vibrations or blasting beyond 3m of a high pressure gas mains
- Class 4. Location
 - Works within 1m of gas service or connection to industrial gas meter

DETAILS OF WORK INVOLVED (Tick Applicable)

- | | | | |
|-----------------------------------|--------------------------|---------------------------|--------------------------|
| Excavation | <input type="checkbox"/> | Change to surface level | <input type="checkbox"/> |
| Service crossing (Gas CONNECTION) | <input type="checkbox"/> | Boring | <input type="checkbox"/> |
| Proving (Dial Before You Dig) | <input type="checkbox"/> | Blasting | <input type="checkbox"/> |
| Earthworks | <input type="checkbox"/> | Road Construction/Change? | <input type="checkbox"/> |
| Vacuum Excavation | <input type="checkbox"/> | Other (give details) | <input type="checkbox"/> |

Relevant drawings, Block Plans etc, attached Yes No

PROPOSED DATES AND TIMES

From: / / 20... am/pm **To:** / / 20... am/pm

Excavation

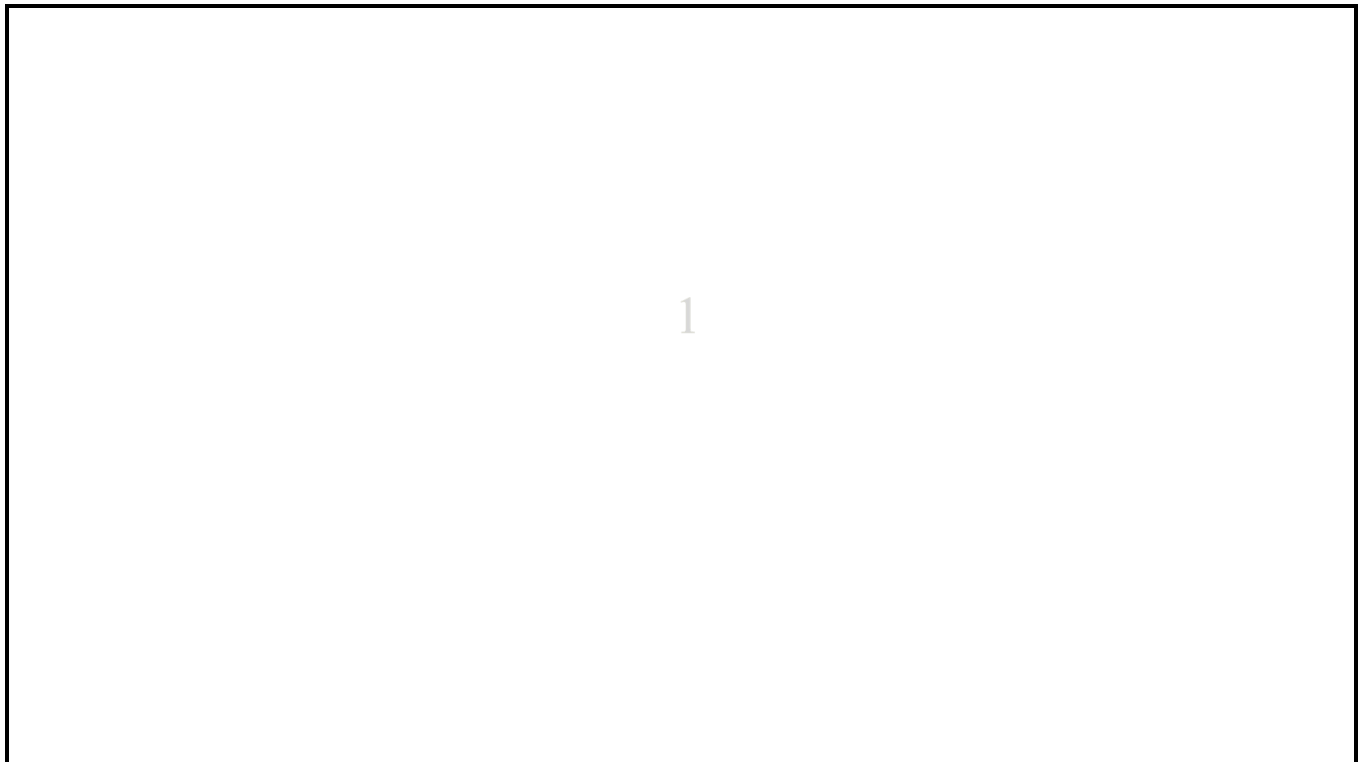
Backfill

Insurance Cover – Current Level None \$5M \$10M \$20M Other _



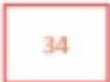




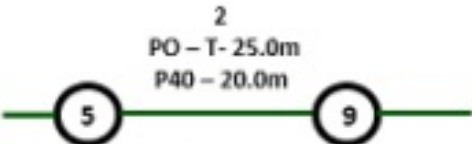






Indicative Plans

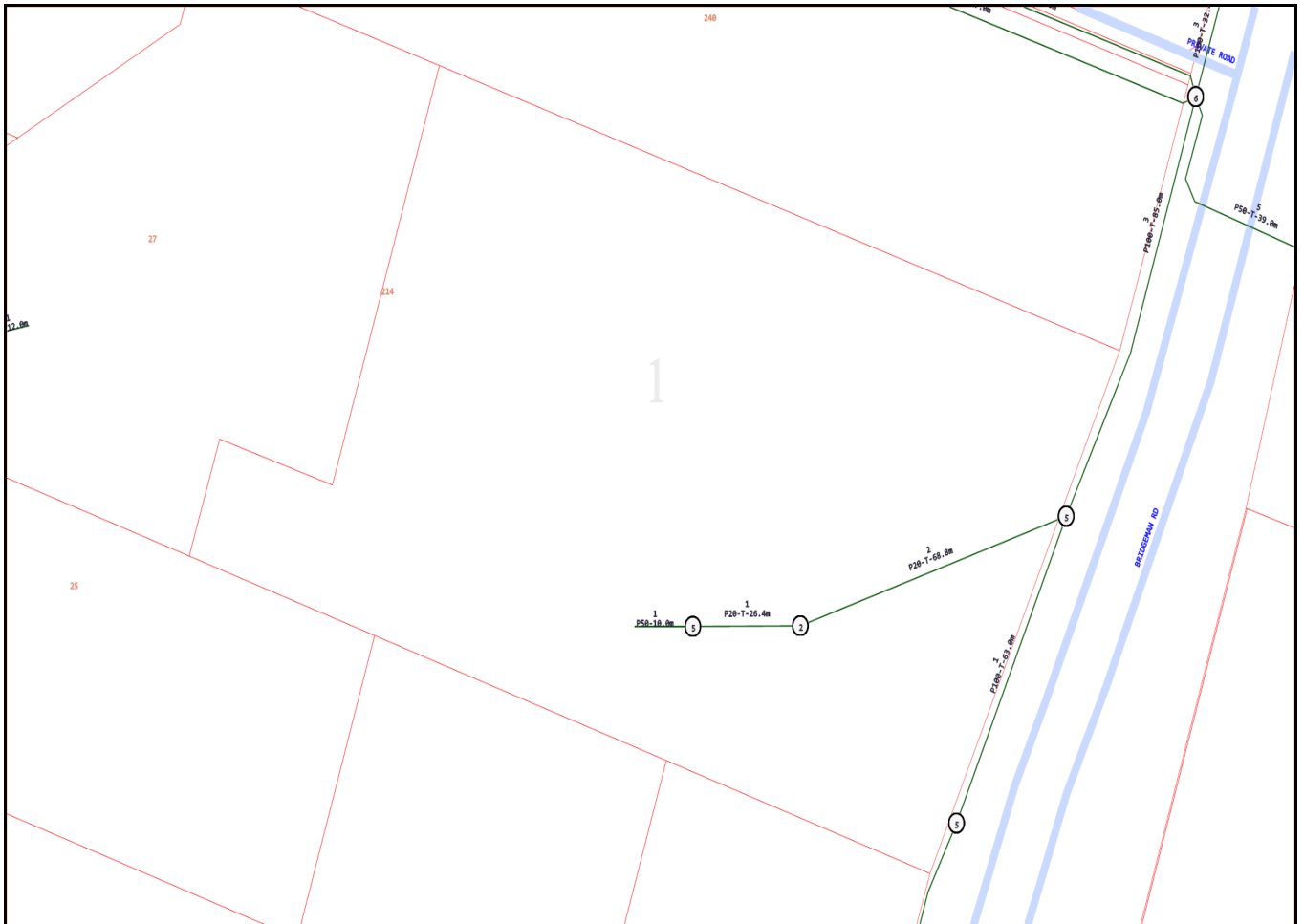
Issue Date:	29/08/2019	 The logo features a red circle with a black border and a diagonal slash. Inside the circle is a black silhouette of a hand holding a shovel. To the right of the circle, the text 'DIAL BEFORE YOU DIG' is written in bold, black, uppercase letters. Below this text, the website address 'www.1100.com.au' is written in a smaller, black, lowercase font.
Location:	214 Bridgeman Road , Bridgeman Downs , QLD , 4035	





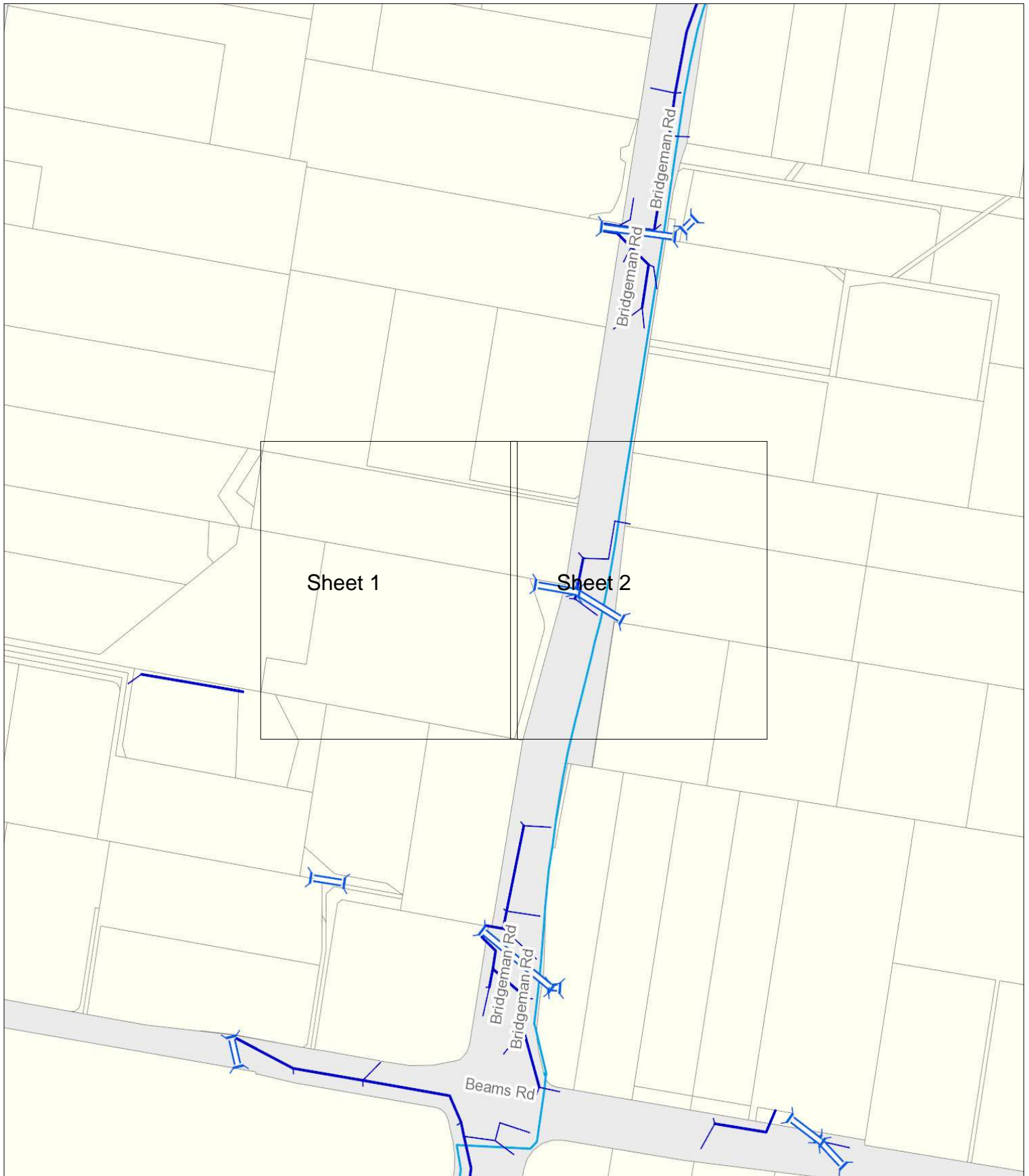
LEGEND

	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
<p data-bbox="363 1861 443 1895">Scale</p>	<p data-bbox="678 1816 1139 1850">0 20 40 60 Meters</p> <p data-bbox="1091 1861 1187 1895">1:2000</p> <p data-bbox="1023 1895 1257 1928">1 cm equals 20 m</p> 



Emergency Contacts

You must immediately report any damage to **nbn**TM network that you are/become aware of. Notification may be by telephone - 1800 626 329.



Sequence Number: 88464422

Map Sheet Overview

Disclaimer:

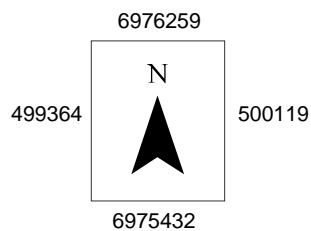
(c) Brisbane City Council [2019]
 In consideration of Council, and the copyright owners listed below, permitting the use of this data, you acknowledge and agree that Council, and the copyright owners, give no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accept no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage), relating to any use of this data.
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 Cadastre (c) 2019 Department of Natural Resources and Mines
 Street Names and House Numbers (c) 2019 Brisbane City Council

Caution: This map may contain the locations of abandoned underground asbestos pipes. Council gives no warranty to the completeness or accuracy of these records. Appropriate care needs to be taken in all cases.

BCC Stormwater and Cable Networks

Date: Aug 30, 2019



Copyright BCC, 2019



BCC Stormwater and Cable Networks

Sequence Number: 88464422

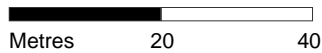
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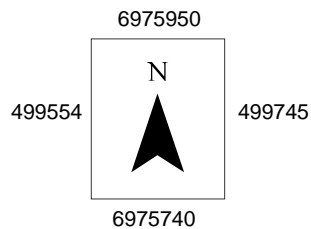
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Scale = 1:1000



Location:

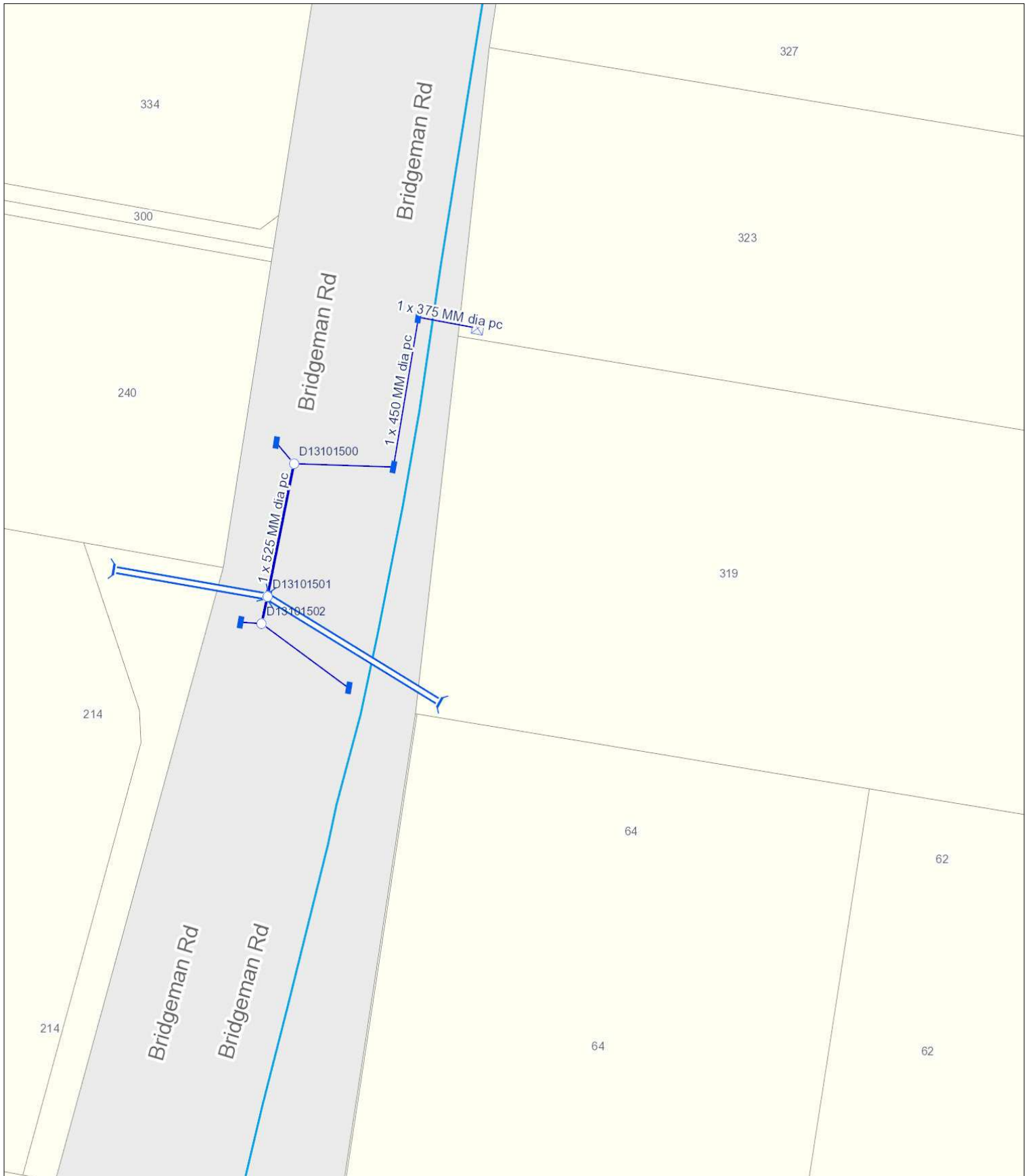


Date: Aug 30, 2019

Sheet 1



Copyright BCC, 2019



BCC Stormwater and Cable Networks

Sequence Number: 88464422

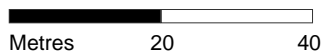
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 Data must not be used for direct marketing or be used in breach of the privacy laws.

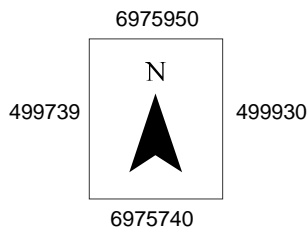
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Caution: This map may contain the locations of abandoned underground asbestos pipes. Council gives no warranty to the completeness or accuracy of these records. Appropriate care needs to be taken in all cases.

Scale = 1:1000



Location:



Date: Aug 30, 2019

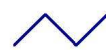








Sheet 2










Copyright BCC, 2019

Legend

Stormwater Network

-  Stormwater Drain
-  Stormwater Gully / Roofwater Connection
-  Future Stormwater Drain
-  Stormwater Maintenance Hole
-  Stormwater Roofwater Pit
-  Stormwater Gully Pit
-  Stormwater Field Inlet
-  Stormwater Quality Improvement Device
-  Stormwater Culvert

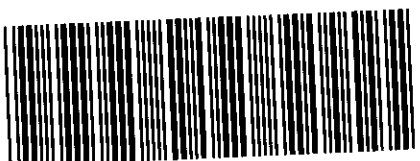
BCC Cable Network

-  Traffic System Cable
-  Traffic Signal Ducting
-  Traffic Light Conduit
-  Fibre Optic Cable Location
-  Flood Telemetry Conduit
-  Parking Sensor Ducting
-  Fibre Optic Pit Location

ANNEXURE G

EASEMENT





713023724

\$124.20
29/01/2010 10:30

BE 210

and the Water Act 2000 and is used to maintain the publicly searchable registers in the land registry and the water register. For more information about privacy in NR&W see the department's website.

Client No:	1009521	Duties Act 2001
Assessment No:	590020095	
Duty Paid \$:	NIL	<input type="checkbox"/> Exempt
UTI \$:		
Date:	25/01/10	Signed: <i>[Signature]</i>

1. Nature of request

Register a Resumption

Lodger (Name, address, E-mail & phone number)

David Askern, Chief Legal Counsel for
Brisbane City Council
266 George Street, Brisbane Qld 4000
Email: karen.jacobsen@brisbane.qld.gov.au
Tel: (07) 3403 5313
Ref: 291925

Lodger Code

259A

2. Lot on Plan Description

Easement F in Lot 1 on SP222229

County

Stanley

Parish

Nundah

Title Reference

14754108

3. Registered Proprietor/State Lessee

Cecilia Rolfe

4. Interest

Fee Simple

5. Applicant

Brisbane City Council

6. Request

I hereby request that in accordance with the Taking of Easement Notice dated 11 December 2009 deposited herewith you register a resumption for purposes incidental to road (batter bank) over the above described land.

7. Execution by applicant

LESLIE HOWARD ACWORTH
J.P. (C.DEC.) QLD

The Seal of BRISBANE CITY COUNCIL was hereunto affixed this 22nd day of January 2010 by me JANINE ELIZABETH BOYD being the proper officer to affix such seal. *[Signature]* J.E. BOYD Appointed Officer

22/1/10
Execution Date

Applicant's or Solicitor's Signature

Note: A Solicitor is required to print full name if signing on behalf of the Applicant

*Acquisition of Land Act 1967***TAKING OF EASEMENT NOTICE (No 43) 2009****Short title**

1. This notice may be cited as the *Taking of Easement Notice (No 43) 2009*.

Easements taken [ss.6, 9(7) and 9(8) of the Act]

2. The easements described in Schedule 2 are taken by Brisbane City Council for purposes incidental to Road (batter bank) and vest in Brisbane City Council on and from 11 December 2009.

Rights and obligations

3. That the rights and obligations conferred and imposed by each easement include the matters set out in Schedule 1.

SCHEDULE 1**Easement Terms**

FOR THE PURPOSES of constructing or building and thereafter forever to use and maintain such slopes, footings, foundations, filling, soil embankments, batter banks and associated walling as may from time to time be determined by the Council in its absolute discretion as necessary (hereinafter referred to as "the Support") to ensure the continued support of the adjoining Road/s as proposed and the land immediately contiguous to the land described in the Schedule hereto (which land is hereinafter referred to as "the Said Land") with the full, free and uninterrupted right and liberty at all times by day and by night and from time to time to enter upon and to go, pass and repossess over, along and under the Easement Area and the Said Land or any part or parts thereof with or without engineers, surveyors, servants, agents, licensees, contractors, subcontractors, workmen and others authorised by the Council and with or without equipment and other vehicles and things laden or unladen and to dig into, sink shafts in, erect scaffolding upon and to open and break up the soil of the Easement Area and/or the Said Land or any part or parts thereof as well the subsurface as the surface thereof and to bring and place in and upon the Easement Area and the Said Land or any part or parts thereof and remove such materials, machinery, equipment, tools and other articles and to do such other incidental works and things in the premises as the Council shall in its discretion think fit TOGETHER WITH full, free and uninterrupted access to the Easement Area and the Said Land for the purposes of inspecting, altering, reconstructing and/or repairing the Support AND ALSO the full and free right at all times and from time to time to the uninterrupted flow of rain water and drainage of all kinds inclusive of stormwater run off flowing in concentration either intermittently or occasionally (all of which is hereinafter called "stormwater drainage") over and along the surface of the Said Land without

(1) any obstruction, interruption, impeding, hampering or interference, diversion, scouring, change or alteration in or to the flow or escape of stormwater drainage or its or their natural outlet (if any) or

(2) any ponding of waters or

(3) any interference or obstruction to the Support

caused by or consequent upon

(a) any use to which the said land may be put or

(b) the erection, raising, making, placing or suffering to stand or to remain of any building, fence, wall, structure (whether of the class just mentioned or not) paving or vegetation (except grass, vegetation or landscaping which is to be properly maintained at all times) or thing whatsoever upon the Said Land or

(c) any alteration in level or gradient of the Said Land or any change to the surface of the Said Land or to the

natural or artificial features of the Said Land which contain or assist in containing the flow of stormwater drainage over the Said Land

other than as is or are permitted in writing by the Council or the Permanent Head for the time being of Brisbane Infrastructure Division of the Council and only on such terms and conditions as the Council or the Permanent Head may impose or stipulate in the event of such permission being granted with power for the Council and its contractors, agents and servants (but without prejudice to any other powers or remedies for the Council) at the cost to the owner or owners, registered proprietor or registered proprietors or occupier or occupiers from time to time and for the time being of the Said Land or any of them

(i) to demolish, remove or otherwise dispose of any building, fence, wall, structure (whether of the class just mentioned or not) paving or vegetation (except grass which is to be kept properly mown) or thing whatsoever at any time on or in the Said Land in contravention of the foregoing provisions and

(ii) to perform any works necessary for restoring or reinstating the Said Land (including the grass thereon) and the natural or artificial features containing or assisting in the Support and/or in containing or assisting in the flow of stormwater drainage over the Said Land to their former state and condition and also

(iii) to alter, grade, pave, prepare, grass, fertilize, prune, remove vegetation or mow the surface of the Said Land or place, install, establish or construct and keep any earthworks and any other works whatsoever (whether of the class just mentioned or not) thereon or therein for the purpose of the exercise of the rights hereinbefore given or incidental thereto or for the purpose of forming the surface of the Said Land in such a way as to contain the flow of stormwater drainage or for the purpose of rectifying or alleviating any scouring of the said land due to the flow of stormwater drainage thereover.

SCHEDULE 2**South East Region, Brisbane Office****Easements Taken**

Easement D in Lot 2 on SP227358 (to be registered in the Land Registry), area 437 m², part of Title Reference 13671029, parish of Nundah.

L.A.B. 12092

Easement B in Lot 4 on SP222237 (to be registered in the Land Registry), area 810 m², part of Title Reference 17360087, parish of Nundah.

L.A.B. 12093

Easement N in Lot 4 on SP222233 (to be registered in the Land Registry), area 415 m², part of Title Reference 13728040, parish of Nundah.

L.A.B. 12094

Easement M in Lot 3 on SP222234 (to be registered in the Land Registry), area 365 m², part of Title Reference 13325196, parish of Nundah.

L.A.B. 12095

Easement B in Lot 1 on SP222231 (to be registered in the Land Registry), area 1200 m², part of Title Reference 16474218, parish of Nundah.

L.A.B. 12096

Easement G in Lot 3 on SP227361 (to be registered in the Land Registry), area 873 m2, part of Title Reference 11701012, parish of Nundah.

L.A.B. 12100

Easement F in Lot 4 on SP227360 (to be registered in the Land Registry), area 437 m2, part of Title Reference 13264172, parish of Nundah.

L.A.B. 12101

Easement E in Lot 3 on SP227359 (to be registered in the Land Registry), area 437 m2, part of Title Reference 13671030, parish of Nundah.

L.A.B. 12102

Easement K in Lot 5 on SP222228 (to be registered in the Land Registry), area 1480 m2, part of Title Reference 50259498, parish of Nundah.

L.A.B. 12103

Easement A in Lot 3 on SP227356 (to be registered in the Land Registry), area 1051 m2, part of Title Reference 17360086, parish of Nundah.

L.A.B. 12104

Easement F in Lot 1 on SP222229 (to be registered in the Land Registry), area 980 m2, part of Title Reference 14754108, parish of Nundah.

L.A.B. 12105

ENDNOTES

1. Made by the Governor in Council on 9 December 2009.
2. Published in the Gazette on 11 December 2009.
3. Not required to be laid before the Legislative Assembly.
4. The administering agency is the Department of Environment and Resource Management.

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